



STOREY COUNTY BOARD OF COUNTY COMMISSIONERS MEETING


03/18/2025 10:00 AM

26 SOUTH B STREET, VIRGINIA CITY, NEVADA

AGENDA

This meeting will be held in person and the public is welcome to attend.

Members of the public who wish to **watch the meeting remotely** may do so by accessing the Storey County Clerk's new YouTube channel. To access the Channel and the Live Stream:

1. Open your browser and go to www.youtube.com/@storeycountyclerk
2. Click on the Storey County seal  when it has the **LIVE** display, or click on the video picture for the meeting in the playlist under the county seal with the **LIVE** display on the graphic.

- Public comment may be made by in-person appearance only. -

For additional information or supporting documents please contact the Storey County Clerk's Office at 775-847-0969.

JAY CARMONA
CHAIRMAN

ANNE LANGER
DISTRICT ATTORNEY

CLAY MITCHELL
VICE-CHAIRMAN

DONALD GILMAN
COMMISSIONER

JIM HINDLE
CLERK-TREASURER

Members of the Board of County Commissioners also serve as the Board of Fire Commissioners for the Storey County Fire Protection District, Storey County Health Board, Storey County Brothel License Board, Storey County Water and Sewer System Board, Storey County Highway Board and the Storey County Liquor and Licensing Board and during this meeting may convene as any of those boards as indicated on this or a separately posted agenda. All matters listed under the consent agenda are considered routine and may be acted upon by the Board of County Commissioners with one action, and without an extensive hearing. Any member of the Board or any citizen may request that an item be taken from the consent agenda, discussed, and acted upon separately during this meeting. Pursuant to NRS 241.020 (2)(d)(6) Items on the agenda may be taken out of order, the public body may combine two or more agenda items for consideration, and the public body may remove an item from the agenda or delay discussion relating to an item on the agenda at any time.

The Commission Chair reserves the right to limit the time allotted for each individual to speak. Public comment is limited to three minutes per individual.

All items include discussion and possible action to approve, modify, deny, or continue unless marked otherwise.

1. **CALL TO ORDER REGULAR MEETING AT 10:00 A.M.**
2. **CONVENE AS THE STOREY COUNTY BOARD OF COUNTY COMMISSIONERS**
3. **PLEDGE OF ALLEGIANCE**
4. **PUBLIC COMMENT (No Action):** Public comment is welcomed at the beginning and end of each meeting. These comments should be limited to matters not already on today's calendar agenda. Public comment is again welcomed after each item on the agenda, & those comments should be limited to the agendized topic. Public comment is limited to 3 minutes per individual.
5. **DISCUSSION/FOR POSSIBLE ACTION:**

Consideration and possible approval of the agenda for the March 18, 2025, meeting.
6. **DISCUSSION/FOR POSSIBLE ACTION:**

Consideration and possible approval of the minutes from the February 18, 2025, meeting.
7. **CONSENT AGENDA FOR POSSIBLE ACTION:**
 - I For possible action, approval of business license first readings:
 - A. Bunting Magnetics Co. - Out of County / 500 S. Spencer Rd ~ Newton, KS
 - B. John Curran LLC - Out of County / 415 Keystone Dr. ~ Dayton, NV
 - C. Nuwave International Industries Inc. - Contractor / 1875 Coronado Ave ~ Signal Hill, CA
 - D. SBI Roofing - Contractor / 4201 Trailblazer Loop ~ Roseville, CA
 - E. Silver Sierra Cleaning LLC - Out of County / 4275 W th St. Apt 351 ~ Reno, NV
 - F. Tahoe Brothers Construction LLC - Contractor / 9475 Double R Blvd Ste. 10 ~ Reno, NV
 - II Approval of claims in the amount of \$7,086,400.92.
8. **DISCUSSION ONLY (No Action - No Public Comment): Committee/Staff Reports**
9. **BOARD COMMENT (No Action - No Public Comment)**

10. **DISCUSSION/FOR POSSIBLE ACTION:**

Consideration and possible approval for the County Manager to sign Exhibit A of the Talent Services Agreement with AcTalent for the revised funding amount of \$186,000.

11. **DISCUSSION/FOR POSSIBLE ACTION:**

Consideration and possible approval of the Capital Improvement Plan for fiscal years 26-30.

12. **DISCUSSION/FOR POSSIBLE ACTION:**

Consideration and possible approval to continue ongoing discussions and research between Storey County and V&T Railway Commission for the potential acquisition of APNs 002-063-22 and 002-063-24 and surrounding vacant properties in Gold Hill, Nevada.

13. **DISCUSSION/FOR POSSIBLE ACTION:**

Consideration and Possible Approval of Special Use Permit 2025-018. The applicant requests a special use permit to allow for greater than four large domestic animals to reside at the Estates zoned property. The applicants propose to have a variety of bovine, swine and goats residing on the property which also includes a single family residence where the applicant lives. The property is approximately 3.69 acres in size and is located at 848 Sutro Springs Road, Mark Twain Estates neighborhood of Storey County, Nevada, Assessor's Parcel Number (APN) 003-293-32.

14. **DISCUSSION/FOR POSSIBLE ACTION:**

Consideration and possible approval of Special Use Permit 2025-021. The applicant requests a Special Use Permit to construct a freestanding changeable message sign at the Mark Twain Community Center property. The proposed sign is approximately 9-feet wide by 8-feet tall and portion of the sign will contain a changeable message. The property is located at 500 Sam Clemens Avenue, Storey County, Nevada, Assessor's Parcel Number (APN) 003-273-13.

15. **DISCUSSION/FOR POSSIBLE ACTION:**

Consideration and possible approval of a quitclaim deed to transfer ownership of the parcel of land associated with the Community Chest community center from Storey County to Community Chest. This parcel is located at Miner's Park and a recent parcel map created the parcel of land associated with the Community Chest building.

This document also includes the reservation of an access easement to Storey County for the purpose of allowing maintenance activities associated with Miner's Park and more particularly an existing retaining wall that abuts the property line.

16. **RECESS TO CONVENE AS THE STOREY COUNTY FIRE PROTECTION DISTRICT BOARD**

17. **CONSENT AGENDA FOR POSSIBLE ACTION:**

Discussion and possible approval to send \$176,929.54 of outstanding unpaid ambulance bills to collections & write off the amount of \$2,101.98.

18. **DISCUSSION/FOR POSSIBLE ACTION:**

Presentation, public workshop, discussion, and consideration directing staff regarding updates to the Storey County Fire Protection Districts Capital and Staffing Improvement Plan for Fiscal Year 2025-2030.

19. **DISCUSSION/FOR POSSIBLE ACTION:**

Discussion and possible approval to sign a purchase agreement for a Skeeter Ford F-550 Type 5 quick attack Fire Engine, that is entirely funded by Switch Inc. in the amount of \$355,271.00.

20. **DISCUSSION/FOR POSSIBLE ACTION:**

Discussion and possible approval of the purchase of an unbudgeted emergency generator for fire station 72 for the approximate amount of \$40,000 from Highlands Electric.

21. **RECESS TO CONVENE AS THE STOREY COUNTY LIQUOR LICENSING BOARD**

22. **DISCUSSION/FOR POSSIBLE ACTION:**

For consideration and possible approval of the First reading for On-Sale Liquor License. Applicant is Jennifer Stoops, Maddy's Place LLC, 55 North C Street, Virginia City, NV.

23. **RECESS TO RECONVENE AS THE STOREY COUNTY BOARD OF COUNTY COMMISSIONERS**

24. **DISCUSSION/FOR POSSIBLE ACTION:**

Consideration and possible approval to authorize the County Manager to authorize a change request (CR008) in the amount of \$55,096.56 due to a design oversight in the plans for the site improvements at the Lockwood Senior Center. The original design undersized the required retaining wall at the south end of the parking lot. Corrective design was provided by the designers at no cost to the County and the Contractor has submitted a price proposal to construct the larger wall per the corrected designs. CME Construction Management has reviewed the proposed costs and determined the costs to be reasonable.

25. **DISCUSSION/FOR POSSIBLE ACTION:**

Consideration and possible approval to accept a contract for the remodel of the restrooms at the Virginia City Senior Center to bring them into compliance with the Americans with Disabilities Act from Shakespeare Unlimited construction in an amount of \$77,553.00 with a 10% contingency for a total not to exceed \$85,308.30. This project is partially funded by a grant from Aging and Disability Services Division ARPA in the amount of \$45,000.

26. **DISCUSSION/FOR POSSIBLE ACTION:**

Discussion and possible consideration approving the County Manager to approve and sign a contract with RCG Economics to provide economic and fiscal advice and review to Storey County on an on-call basis as related to government and regional affairs and legislative matters for the 2025 general and interim legislative session, not to exceed \$100,000.

27. **DISCUSSION/FOR POSSIBLE ACTION:**

Discussion and consideration directing county staff to draft regulations pertaining to Accessory Dwelling Units in all Residential, Commercial-Residential, Estate, and Planned Unit Development zones (except where prohibited by existing HOA regulations) in Storey County including conducting countywide public surveys, scoping, and community workshops, seeking further direction from the board and planning commission, and including sufficient funds in the FY26 county budget to complete necessary drafting of and consultation for associated regulations and codes. This item is per the request of Commissioner Mitchell.

28. **DISCUSSION/FOR POSSIBLE ACTION:**

Update, discussion, and provide direction to county staff and lobbyists regarding upcoming bills and legislation affecting Storey County including, but not limited to, the following: SB69 Storey County bill adjusting tax abatement programming, Senate bill(s) regarding regional planning Storey, Washoe, Lyon, Carson, Douglas, and cities, Daly; SB78 as potentially related to the Comstock Historic District Commission; AB77 tax abatement; AB32 V&T Railway, and all bills and resolutions supported by the Nevada Association of Counties (NACO) unless otherwise directed by the board.

29. **DISCUSSION/FOR POSSIBLE ACTION:**

For Consideration and possible approval of business license second readings:

- A. ABSCO Fire Protection LLC - Contractor / 9025 Spanish Trail ~ Sparks, NV
- B. All Crane Service LLC - Out of County / 1000 Marietta Way ~ Sparks, NV

- C. Crusoe Energy Systems, LLC - Out of County / 255 Fillmore St. Ste. 400 ~ Denver, CO
- D. DeHart Recycling Equipment Inc. - Out of County / 11862 Missouri Bottom Rd. ~ Hazelwood, MO
- E. Guzman & Sons Drywall LLC - Contractor / 5385 Jon. Dr. ~ Sun Valley, NV
- F. Harrison Nevcon LLC - Contractor / 503 Sam Clemens ~ Dayton, NV
- G. Kinetic Cutting Systems Inc. - Out of County / 10960 Zaiser Rd. ~ West Burlington, IA
- H. ORR Protections Systems, Inc. - Contractor / 6761 Sierra Ct. Ste A ~Dublin, CA
- I. Paul Davis Restoration of Reno & Lake Tahoe - Contractor / 650 Innovation Dr. Ste. A ~ Reno, NV
- J. Sierra Design Concrete - Contractor / 130 Circuit Ct. ~ Sparks, NV
- K. The Shrinkwrap Co., LLC - Out of County / 2400 Sharon Way ~ Reno, NV
- L. WEIMA America Inc. - Out of County / 3678 Centre Cir. ~ Fort Mill, SC
- M. X Burger - Food Truck / 984 Leah Cir ~ Reno, NV

30. **PUBLIC COMMENT (No Action):** Public comment is welcomed at the beginning and end of each meeting. These comments should be limited to matters not already on today's calendar agenda. Public comment is again welcomed after each item on the agenda, & those comments should be limited to the agendized topic. Public comment is limited to 3 minutes per individual.

31. **ADJOURNMENT OF ALL ACTIVE AND RECESSED BOARDS ON THE AGENDA**

NOTICE:

- Anyone interested may request personal notice of the meetings.
- Agenda items must be received in writing by 12:00 noon on the Monday of the week preceding the regular meeting. For information call (775) 847-0969.
- Items may not necessarily be heard in the order that they appear.
- Public comment is welcomed at the beginning and end of each meeting. These comments should be limited to matters not already on today's calendar agenda. Public comment is again welcomed after each item on the agenda, & those comments should be limited to the agendized topic. Public comment is limited to 3 minutes per individual.
- Storey County recognizes the needs and civil rights of all persons regardless of race, color, religion, gender, disability, family status, or nation origin.
- In accordance with Federal civil rights law and U.S. Department of Agriculture (USDA) civil rights regulations and policies, the USDA, its Agencies, offices, and employees, and institutions participating in or administering USDA programs are prohibited from discriminating based on race, color, national origin, religion, sex, gender identity (including gender expression), sexual orientation, disability, age, marital status, family/parental status, income derived from a public assistance program, political beliefs, or reprisal or retaliation for prior civil rights activity, in any program or activity conducted or funded by USDA (not all bases apply to all programs). Remedies and complaint filing deadlines vary by program or incident.

Persons with disabilities who require alternative means of communication for program information (e.g., Braille, large print, audiotape, American Sign Language, etc.) should contact the responsible Agency or USDA's TARGET Center at (202) 720-2600 (voice and TTY) or contact USDA through the Federal Relay Service at (800) 877-8339. Additionally, program information may be made available in languages other than English.

To file a program discrimination complaint, complete the USDA Program Discrimination Complaint Form, AD-3027, found online at http://www.ascr.usda.gov/complaint_filing_cust.html and at any USDA office or write a letter addressed to USDA and provide in the letter all of the information requested in the form. To request a copy of the complaint form, call (866) 632-9992. Submit your completed form or letter to USDA by:

(1) mail: U.S. Department of Agriculture
Office of the Assistant Secretary for Civil Rights
1400 Independence Avenue, SW
Washington, D.C. 20250-9410.

(2) fax: (202) 690-7442; or

(3) email: program.intake@usda.gov.

USDA is an equal opportunity provider, employer, and lender.

Notice to persons with disabilities: Members of the public who are disabled and require special assistance or accommodations at the meeting are requested to notify the Commissioners' Office in writing at PO Box 176, Virginia City, Nevada 89440.

CERTIFICATION OF POSTING

I, Drema Smith, Administrative Assistant to Storey County, do hereby certify that I posted, or caused to be posted, a copy of this agenda at the following locations on or before 3/13/2025; Storey County Courthouse located at 26 S B St, Virginia City, NV, the Virginia City Fire Department located at 145 N C St, Virginia City, NV, the Virginia City Highlands Fire Department located at 2610 Cartwright Rd, VC Highlands, NV and Lockwood Fire Department located at 431 Canyon Way, Lockwood, NV. This agenda was also posted to the Nevada State website at <https://notice.nv.gov/> and to the Storey County website at: <https://www.storeycounty.org/agendacenter>

By *Drema Smith*
Drema Smith
Administrative Assistant II



Board of Storey County Commissioners Agenda Action Report

**Meeting date: 3/18/2025 10:00 AM -
BOCC Meeting**

Estimate of Time Required: 1 min

Agenda Item Type: Discussion/Possible Action

- **Title:** Consideration and possible approval of the agenda for the March 18, 2025, meeting.

- **Recommended motion:** Approve or amend as necessary.

- **Prepared by:** Drema S Smith

Department: Commissioners

Contact Number: 7758470968

- **Staff Summary:** See attached.

- **Supporting Materials:** No Attachments

- **Fiscal Impact:**

- **Legal review required:** False

- **Reviewed by:**

_____ Department Head

Department Name:

_____ County Manager

Other Agency Review: _____

- **Board Action:**

<input type="checkbox"/> Approved	<input type="checkbox"/> Approved with Modification
<input type="checkbox"/> Denied	<input type="checkbox"/> Continued



Board of Storey County Commissioners Agenda Action Report

**Meeting date: 3/18/2025 10:00 AM -
BOCC Meeting**

Estimate of Time Required: 5 minutes

Agenda Item Type: Discussion/Possible Action

- **Title:** Consideration and possible approval of the minutes from the February 18, 2025, meeting.
- **Recommended motion:** Approve or amend as necessary.
- **Prepared by:** Jim Hindle

Department: Clerk & Treasurer

Contact Number: 7758470969

- **Staff Summary:** See attached.
- **Supporting Materials:** See Attachments
- **Fiscal Impact:**
- **Legal review required:** False
- **Reviewed by:**

____ Department Head

Department Name:

____ County Manager

Other Agency Review: _____

- **Board Action:**

<input type="checkbox"/> Approved	<input type="checkbox"/> Approved with Modification
<input type="checkbox"/> Denied	<input type="checkbox"/> Continued



STOREY COUNTY BOARD OF COUNTY
COMMISSIONERS MEETING

2/18/2025 10:00 AM
26 SOUTH B STREET, VIRGINIA CITY, NV

MEETING MINUTES

JAY CARMONA
CHAIRMAN

CLAY MITCHELL
VICE-CHAIRMAN

DONALD GILMAN
COMMISSIONER

ANNE LANGER
DISTRICT ATTORNEY

JIM HINDLE
CLERK & TREASURER

Roll Call

Commissioners Carmona, Gilman, and Mitchel present – quorum established

Total Attendance: 52

1. CALL TO ORDER REGULAR MEETING AT 10:00 A.M.

Commission Chairman Jay Carmona called the meeting to order at 10:02 a.m.

2. CONVENE AS THE STOREY COUNTY BOARD OF COUNTY COMMISSIONERS

3. PLEDGE OF ALLEGIANCE

4. PUBLIC COMMENT (No Action): None

5. DISCUSSION/FOR POSSIBLE ACTION: Consideration and possible approval of the agenda for the February 18, 2025, meeting.

Public Comment: None

Motion: I, Commissioner Mitchell, move to approve today's agenda as presented. **Seconded by:** Donald Gilman. **Vote:** Motion passed unanimously.

6. DISCUSSION/FOR POSSIBLE ACTION: Consideration and possible approval of the minutes from the January 21, 2025, meeting.

Public Comment: None

Motion: I, Commissioner Mitchell, move to approve the minutes from our January 21, 2025, meeting as presented. **Seconded by:** Donald Gilman. **Vote:** Motion passed 2-0.

7. CONSENT AGENDA FOR POSSIBLE ACTION:

I. For possible action, approval of business license first readings:

- A. American Document Destruction – Out of County / 480 Coney Island Dr. ~ Sparks, NV
- B. Amfabsteel Inc. – Contractor / 100 Calle Industrial ~ Bernalillo, NM
- C. Baobab Press – Home Based / 96 A St. ~ Virginia City, NV
- D. Beyond Estate Sales LLC – Out of County / 1965 Woodhaven Ln ~ Sparks, NV
- E. California Erectors Inc. – Contractor / 4500 California Ct. ~ Benecia, CA
- F. Comstock Construction Services Inc. – Out of County / 115 Territory Rd. ~ Dayton, NV
- G. Danny Couste Construction LLC – Contractor / 94 Paul Way ~ Carson City, NV
- H. Fire Suppression Technology’s Inc. – Contractor / 216 F St. ~ Waterford, CA
- I. KD Electric – Contractor / 681 Watson Way ~ Sparks, NV
- J. MJB Construction Co. – Contractor / 5795 Tappan Dr. ~ Reno, NV
- K. Reid Services LLC – Out of County / 425 College St. ~ Rockmart, GA
- L. Schindler Elevator Corporation – Contractor / 20 Whippany Rd. ~ Morristown, NJ.
- M. Schumway’s Mobile Home Setters – Out of County / 5309 Torobie Cir. ~ Sun Valley, NV
- N. XP Electric LLC – Contractor / 2266 Hayfield Ln. ~ Fernley, NV

II. Justice Court Quarterly Report Q1 III Justice Court Quarterly Report Q2.

Public Comment: None

Motion: I, Commissioner Mitchell, move to approve today’s Consent agenda as presented. **Seconded by:** Donald Gilman. **Vote:** Motion passed unanimously.

8. DISCUSSION ONLY (No Action - No Public Comment): Committee/Staff Reports

Fire District

- Chief Jeremy Loncar said slash pile burning will be done today through Thursday, in the Highlands.

Public Works

- Operations and Projects Coordinator Mike Northan said snow removal on B, D, and E is ongoing. C Street will be done at 4:00 a.m. Wednesday to coordinate with NDOT. He said all residents need to move their cars before then.
- Roads plans are in development.

Operations and Projects

- Mr. Northan said there were rain delays with the Lockwood Senior Center Project, but it should be completed in August.
- We are working on an RFQ for Station 71, TRIC substation and the Virginia City Jail Project.
- We have an RFP ready for the Water Tower maintenance program.
- Staff are working with NVEnergy and USDA on the Fairgrounds Project.

Emergency Management

- Director Adam Wilson said he attended the Nevada Emergency Planning Summit.
- The first week of March he will speak at the Carson Water Subconservancy District meeting on the watershed.
- On Feb. 25, his department, along with the Sheriff's Office and Fire District, will hold a public safety town hall at Piper's Opera House.
- He said he is meeting quarterly with the State Insurance Commissioner on how the County can help mitigate the problem of insurance cancellations.
- The State will start staging emergency operations in each of the regions.
- Mr. Wilson said the state is moving to standardized language on evacuations, which caused a problem at the Davis Creek Fire.
- The Occupational Safety and Health Administration has issued new compliance rules on heat and illness, which they will begin to enforce this April.

VCTC

- Tourism Director Todd Tuttle said he and Leah Krise went to the American Bus Association meeting in Philadelphia and received a very positive response. Next year's ABA meeting will be held in Reno, where Mr. Tuttle expects a large response.
- There were 484 attendees at the Devil Made Me Do It Saloon Crawl on Feb. 15.
- On March 15 will be the 34th Rocky Mountain Oyster Fry, the St. Patrick's Day Parade and the St. Paddy Made Me Do It Saloon Crawl.
- On Saturday, April 12 will be the Father-Daughter Day at Piper's Opera House and it is nearly sold out.
- The 45th Virginia City Grand Prix will be April 26-27.

Health and Community Services

- Director Stacy York said her department was working with the National Association of Counties, and the National Association of County Human Services Administrators to focus on collective experience to respond to challenges. She handed out information to each of the commissioners.

Community Development

- Director Pete Renaud said using our Waste Management agreement on containers for nuisance complaints to get properties cleaned was working and staff were supervising to ensure that debris that was not permitted was not deposited into the containers.

Clerk-Treasurer

- Clerk-Treasurer Jim Hindle said that this is the first County Commission meeting to be live streamed on YouTube, and that there were already 16 viewers online. He asked for feedback from residents. He said the meetings were recorded, so residents can review past meetings via the YouTube Channel - @storeycountyclerk. This is not a two-way system, but a broadcast, so to participate in the meetings, residents must attend or submit comments in advance.
- There will be a judge added to the First Judicial District Court in 2026 due to Carson City's expanding population and an increase in civil, criminal and family court cases. Budgets are being adjusted to address expected increased expenses.
- The Vehicle Registration Service/County DMV is expected to open in the second week of March. This is for Storey County residents only and fees must be paid by credit card.

9. BOARD COMMENT (No Action - No Public Comment)

- Commissioner Mitchell thanked Public Works and neighbors for helping with snow removal.

10. DISCUSSION/FOR POSSIBLE ACTION: Consideration and possible approval for a Justice Court Security Enhancement through Trial Court Improvement (TCI). Storey County has received a grant of \$25,000.00 from the AOC Grant Program, leaving a balance not to exceed \$12,455.04.

County Manager Austin Osborne said Justice Eileen Herrington received a grant to contribute to a program that enhances cameras and security systems.

Public Comment: None

Motion: I, Commissioner Mitchell, move to approve a Justice Court Security Enhancement through Trial Court Improvement (TCI). **Seconded by:** Donald Gilman. **Vote:** Motion passed unanimously.

11. DISCUSSION ONLY: Consideration and possible approval of the unbudgeted grant-funded Community Health Worker Position for the 2024-2025 Fiscal Year. This position is in addition to the previous approved Community Health Worker position. The grant has allocated \$168,848 for salary and benefits for 2 Community Health Worker positions. The positions are continuous.

Director Stacy York said this a clarification of the January 7 item, that approved two Community Health Workers through a grant.

Public Comment: None

Motion: I, Commissioner Mitchell, move to approve the unbudgeted grant-funded Community Health Worker Position for the 2024-2025 Fiscal Year. **Seconded by:** Donald Gilman. **Vote:** Motion passed unanimously.

- 12. DISCUSSION/FOR POSSIBLE ACTION:** Approval of contract extension for Mark Stafford to perform tax appraisals for the Storey County Assessor Office. The contract term is for approximately 3 years. The contract rate is between \$75.00 and \$150.00 per hour as outlined in the attached packet.

Assessor Jana Seddon said this is an extension of Mr. Stafford's contract. She said he has been contracted since 2001 and does appraisals in the industrial park and for the Board of Equalization.

Public Comment: None

Motion: In accordance with Staff recommendation, I, Commissioner Mitchell, move to approve the contract extension for Mark Stafford to perform tax appraisals for the Storey County Assessor Office. **Seconded by:** Donald Gilman. **Vote:** Motion passed unanimously.

- 13. DISCUSSION/FOR POSSIBLE ACTION:** Consideration and possible approval for Special Use Permit (File 2025-001). The applicant requests a Special Use permit to allow for additional building height beyond the 75 feet allowed by the applicable zoning ordinance. The applicant proposes the maximum building heights to be approximately 120 feet to accommodate anticipated multiple story buildings with needs for additional ceiling height for each story. This Special Use Permit request is for a maximum height of 125 feet to allow for a buffer as final equipment and building design have not yet been completed. This additional height will apply to the three contiguous parcels of land where multiple buildings are anticipated to be constructed. The property is located within the Tahoe Reno Industrial Center, at 2300 Peru Drive, McCarran, Storey County, NV, Assessor's Parcel Numbers 005-012-24, 005-012-25 and 005-012-26.

Planning Manager Kathy Canfield said this is a request for additional height. It is a proposed data center, and similar to other data center projects. This is comparable with the property next door and consistent with prior approvals. It was approved by the Planning Commission.

Commissioner Gilman abstained from this item out of an abundance of caution based on potential conflict of interest.

Ms. Canfield read the findings.

Public Comment: None

Motion: In accordance with the recommendation by the Planning Commission and staff, the Findings of Fact under Section 3.A of this report, and other findings deemed appropriate by the Board of County Commissioners as read into the record by county staff, and in compliance with the conditions of approval, I, Commissioner Mitchell, move to approve Special Use Permit (File 2025-001). The applicant requests a Special Use permit to allow for additional building height beyond the 75-feet allowed by the applicable zoning ordinance. The applicant proposes the maximum building heights to be approximately 120 feet to accommodate anticipated multiple story buildings with needs for additional ceiling height for each story. This Special Use Permit request is for a maximum height of 125 feet to allow for a buffer as final equipment and building design have not yet been completed. This additional height will apply to the three contiguous parcels of land where multiple buildings are anticipated to be constructed. The property is located within the Tahoe Reno Industrial Center, at 2300 Peru Drive, McCarran, Storey County, NV, Assessor's Parcel Numbers 005-012-24, 005-012-25 and 005-012-26. **Seconded by:** Jay Carmona. **Vote: Motion** passed 2-0.

14. DISCUSSION/FOR POSSIBLE ACTION: Consideration and possible approval for Special Use Permit (File 2025-002). The applicant requests for additional building height beyond the 75-feet are allowed by the applicable zoning ordinance. The applicant proposes the maximum building heights to be approximately 120 feet to accommodate anticipated multiple story buildings with needs for additional ceiling height for each story. This Special Use Permit request is for a maximum height of 125 feet to allow for a buffer as final equipment and building design have not yet been completed. This additional height will apply to the existing two contiguous parcels of land where multiple buildings are anticipated to be constructed. The property is located within the Tahoe Reno Industrial Center, at 2200 Peru Drive, McCarran, Storey County, NV, Assessor's Parcel Numbers 005-012-27 and 005-012-28.

Ms. Canfield said This item is like the one we just heard. It is located north of the 3 contiguous parcels. The Planning Commission approved this item.

Commissioner Gilman once again abstained just on the previous item.

Ms. Canfield read the findings.

Public Comment: None

Motion: In accordance with the recommendation by the Planning Commission and staff, the Findings of Fact under Section 3.A of this report, and other findings deemed appropriate by the Board of County Commissioners as read into the record by county staff, and in

compliance with the conditions of approval, I, Commissioner Mitchell, move to approve Special Use Permit (File 2025-002). The applicant requests for additional building height beyond the 75 feet allowed by the applicable zoning ordinance. The applicant proposes the maximum building heights to be approximately 120 feet to accommodate anticipated multiple story buildings with needs for additional ceiling height for each story. This Special Use Permit request is for a maximum height of 125 feet to allow for a buffer as final equipment and building design have not yet been completed. This additional height will apply to the existing two contiguous parcels of land where multiple buildings are anticipated to be constructed. The property is located within the Tahoe Reno Industrial Center, at 2200 Peru Drive, McCarran, Storey County, NV, Assessor's Parcel Numbers 005-012-27 and 005-012-28. **Seconded by:** Jay Carmona. **Vote:** Motion passed 2-0.

15. DISCUSSION/FOR POSSIBLE ACTION: Consideration and possible approval for Special Use Permit (File 2025-003). The applicant requests for additional building height beyond the 75 feet allowed by the applicable zoning ordinance. The applicant proposes the maximum building heights to be approximately 120 feet to accommodate anticipated multiple story buildings with needs for additional ceiling height for each story. This Special Use Permit request is for a maximum height of 125 feet to allow for a buffer as final equipment and building design have not yet been completed. This additional height will apply to the seven contiguous parcels of land where multiple buildings are anticipated to be constructed. The property is located adjacent to USA Parkway at the Storey County/Lyon County boundary at 9000 USA Parkway, Storey County, NV, Assessor's Parcel Numbers APN 004-171-25, 26, 27, 28 & 30 and 004-181-11 & 13.

Ms. Canfield said, again similar to the two prior items considered - although this is not within the TRIC boundary. It is on the Lyon/Storey County Boundary. This has been rezoned to heavy industrial. If a property or segment was sold, the new owners would have to acknowledge the SUP. This was approved by the Planning Commission.

Commissioner Gilman abstained from this item just as he did from the previous two considered.

Ms. Canfield read the findings.

Public Comment: None

Motion: In accordance with the recommendation by the Planning Commission and staff, the Findings of Fact under Section 3.A of this report, and other findings deemed appropriate by the Board of County Commissioners as read into the record by county staff, and in compliance with the conditions of approval, I, Commissioner Mitchell, move to approve Special Use Permit (File 2025-003). The applicant requests for additional building height beyond the 75 feet allowed by the applicable zoning ordinance. The applicant proposes the maximum building heights to be approximately 120 feet to accommodate anticipated

multiple story buildings with needs for additional ceiling height for each story. This Special Use Permit request is for a maximum height of 125 feet to allow for a buffer as final equipment and building design have not yet been completed. This additional height will apply to the seven contiguous parcels of land where multiple buildings are anticipated to be constructed. The property is located adjacent to USA Parkway at the Storey County/Lyon County boundary at 9000 USA Parkway, Storey County, NV, Assessor's Parcel Numbers APN 004-171-25, 26, 27, 28 & 30 and 004-181-11 & 13. **Seconded by:** Jay Carmona. **Vote:** Motion passed 2-0.

16. DISCUSSION/FOR POSSIBLE ACTION: Consideration and possible approval for Special Use Permit (File 2025-010). The applicant's request is for a Special Use Permit to utilize land severed from a patented mining claim to be used as a public cemetery. The parcel of land will be created with Parcel Map Permit File 2025-011. The parcel will be 4.92 acres in size and be transferred to Storey County for use as an extension to the existing public cemetery. The property is located east of North Q Street and north of Mill Street on land formerly maintained by the Bureau of Land Management, patented mining claim USS #2581 Ohio Relocation, Storey County #800-000-20 (land within APN 001-312-17 and 001-312-16).

Ms. Canfield said this is a Special Use Permit for the Comstock Cemetery Foundation, which needs to expand the cemetery. There is an existing patented mining claim. We will create a portion of that into a parcel of cemetery land. The zoning is 40 acres in size and zoned Forestry, but it does allow for a smaller size parcel for civic use. The 4.92-acre size is adjacent to the existing cemetery. One adjacent property owner had concerns about what happens to the rest of the mining claim, which will remain the same. The Planning Commission has approved this.

Ms. Canfield read the findings.

Public Comment: None

Motion: In accordance with the recommendation by the Planning Commission and staff, the Findings of Fact under Section 3.A of this report, and other findings deemed appropriate by the Board of County Commissioners as read into the record by county staff, and in compliance with the conditions of approval, I, Commissioner Mitchell, move to approve Special Use Permit (File 2025-010). The applicant's request is for a Special Use Permit to utilize land severed from a patented mining claim to be used as a public cemetery. The parcel of land will be created with Parcel Map Permit File 2025-011. The parcel will be 4.92 acres in size and be transferred to Storey County for use as an extension to the existing public cemetery. The property is located east of North Q Street and north of Mill Street on land formerly maintained by the Bureau of Land Management, patented mining claim USS #2581 Ohio Relocation, Storey County #800-000-20 (land within APN 001-312-17 and 001-312-16). **Seconded by:** Donald Gilman. **Vote:** Motion passed unanimously.

17. DISCUSSION/FOR POSSIBLE ACTION: Consideration and possible approval for Parcel Map (File 2025-011). The applicant requests a parcel map to sever the surface rights from the mineral rights for a portion of land associated with the patented mining claim USS #2581 Ohio Relocation, Storey County #800-000-20. The severance of surface rights from the mineral rights will create a proposed surface parcel of approximately 4.92 acres in size. Once created, the parcel will be transferred to Storey County to be utilized as a part of the existing Storey County cemetery. The property is located East of North Q Street and north of Mill Street on land formerly maintained by the Bureau of Land Management, patented mining claim USS #2581 Ohio Relocation, Storey County #800-000-20 (land within APN 001-312-17 and 001-312-16). The remainder of the patented mining claim will remain as a mining claim and will not sever the surface rights, and a second parcel of land will not be created.

Ms. Canfield said this is the parcel map to the 4.92-acre parcel just discussed. The requirement for a tentative map process is waived. This was approved by the Planning Commission.

County Manager Austin Osborne said there has been discussion with the landowner over whether mineral rights superseded the surface rights. This has been going on for five years. We believe severing the surface estate, being used as a civic purpose, resolves the conflict between rights.

Ms. Canfield read the findings, located on page 134 of the Board of Commissioners packet located under Agendas on the Storey County web site.

Public Comment: None

Motion: In accordance with the recommendation by the Planning Commission and staff, the Findings of Fact under Section 3.A of this report, and other findings deemed appropriate by the Board of County Commissioners as read into the record by county staff, and in compliance with the conditions of approval, I, Commissioner Mitchell, move to approve Parcel Map (File 2025-011). The applicant requests a parcel map to sever the surface rights from the mineral rights for a portion of land associated with the patented mining claim USS #2581 Ohio Relocation, Storey County #800-000-20. The severance of surface rights from the mineral rights will create a proposed surface parcel of approximately 4.92 acres in size. Once created, the parcel will be transferred to Storey County to be utilized as a part of the existing Storey County cemetery. The property is located East of North Q Street and north of Mill Street on land formerly maintained by the Bureau of Land Management, patented mining claim USS #2581 Ohio Relocation, Storey County #800-000-20 (land within APN 001-312-17 and 001-312-16). The remainder of the patented mining claim will remain as a mining claim and will not sever the surface rights, and a second parcel of land will not be created. **Seconded by:** Donald Gilman. **Vote:** Motion passed unanimously.

18. DISCUSSION/FOR POSSIBLE ACTION: Discussion and possible consideration approving the Storey County Sheriff's Office receipt of a Grant from the State of Nevada Department of Public Safety, Office of Criminal Justice Assistance in the amount of \$30,836.64, Federal Award# 1 SPBJA-21-GG-00252-MUMU, to be used for travel and equipment purchase of 2 drug detection K9s and miscellaneous costs associated with this purchase. (Continued from February 4, 2025, BOCC meeting).

Sheriff Mike Cullen said questions came about at the last meetings on the implications if grant funding was not renewed in the future. Out of that \$5,000, for insurance on dogs, we checked with Nationwide and found a \$2,200 cost. In talking to regional partners with other programs, they don't have a lot of cost involved with young dogs. Sheriff Cullen said there was no extra cost from POOL/PACT for county to have dogs.

Victoria Howan and Becky Gray, both Nevada Department of Public Safety staffers, said in studying the costs of other law enforcement offices, it is about \$2,000 for food, but a lot of communities donated for dogs. She said Sheriff Cullen's estimate of \$5,000 a year is a bit on the high side, as Lincoln County only had a \$1,200 cost.

Reserve Deputy Guy Jessup said a nonprofit foundation, called the Blue Line Canine Foundation, has been established to help supplement costs for the Storey County Sheriff's Office, with the board consisting of members of the community and the Sheriff's Office, and they already have sufficient food for a year.

Public Comment: None

Motion: I, Commissioner Mitchell, move to allow the Storey County Sheriff's Office to receive a Grant from the State of Nevada Department of Public Safety, Office of Criminal Justice Assistance in the amount of \$30,836.64, Federal Award # 15PBJA-21-GG-00252-MUMU to be used for travel and equipment purchase of 2 drug detection K9s and miscellaneous costs associated with this purchase. **Seconded by:** Donald Gilman. **Vote:** Motion passed unanimously.

19. DISCUSSION/FOR POSSIBLE ACTION: Discussion and possible consideration approving the Storey County Sheriff's Office to receive a grant from the State of Nevada Department of Public Safety, Office of Criminal Justice Assistance in the Amount of \$15,000, Federal Award Number 1 SPBJA-22-GG-00625-MUMU to be used for training and travel and misc. equipment indicated as other for deputies assigned to the Storey County Sheriff's Office Drug Initiative Program. (Continued from February 4, 2025, BOCC meeting)

Sheriff Cullen said this is a continuation of the first grant used for travel and training for the officers.

Public Comment: None

Motion: I, Commissioner Mitchell, move to allow the Storey County Sheriff's Office to receive a Grant from the State of Nevada Department of Public Safety, Office of Criminal Justice Assistance in the Amount of \$15,000, Federal Award number 15PBJA-22-GG-00625-MUMU to be used for training and travel and misc. equipment indicated as other for Deputies assigned to the Storey County Sheriff's Office Drug Initiative Program. **Seconded by:** Donald Gilman. **Vote:** Motion passed unanimously.

20. DISCUSSION/FOR POSSIBLE ACTION: Consideration and possible approval to re-appoint Arika Perry to a 2-year term as a Public-At-Large member on the Storey County Debt Management Commission.

Clerk & Treasurer Jim Hindle said this is a re-appointment, and Ms. Perry expressed her interest in continuing in this role via her letter of application included in the packet.

Public Comment: None

Motion: I, Commissioner Mitchell, move to appoint Arika Perry to another 2-year term as Public-At-Large member on the Storey County Debt Management Commission. **Seconded by:** Donald Gilman. **Vote:** Motion passed unanimously.

21. DISCUSSION/FOR POSSIBLE ACTION: Consideration and possible approval of the Third Amendment to the Original Agreement between Storey County and Dominion Voting Systems, Inc. (DVS) signed in 2017 updating annual software and equipment licensing, warranty and support service fees and proposing an extension to the effective term.

Clerk & Treasurer Jim Hindle said this is an extension and renewal of the agreement his office has with Dominion. The original agreement was signed in 2017. This extension of the warranty fees proposes a 3 percent increase which is lower than previous extensions approved by this Board. He said Dominion has proposed a longer term, but he wanted to wait until the next election. Mr. Hindle said there is a new federal standard for security protocol, and he is working with the Nevada Secretary of State's Office, to see what vendors will be approved. Those standards will come with new software upgrades, and we don't yet know financial impact.

Public Comment: None

Motion: I, Commissioner Mitchell, move to approve the Storey County Clerk & Treasurer to adopt Amendment 3 to the Original Agreement of 2017 with Dominion Voting Systems, Inc., modified in effective term as proposed, with budgetary commitments not to exceed \$17,000 and \$18,000 respectively in fiscal years 2026 and 2027. **Seconded by:** Donald Gilman. **Vote:** Motion passed unanimously.

22. DISCUSSION/FOR POSSIBLE ACTION: Consideration and possible approval for Storey County Emergency Management to purchase road safety barriers in the amount of \$99,536.00, to protect special events and emergencies in the county from vehicles.

Director Adam Wilson said that following the New Orleans attack, in concert with the Sheriff's Office and Fire District, we looked at different barrier options to be employed during events. He said this proposal was the most affordable, highest-rated barriers available. There will be four 10-foot modular vehicle barriers, and an L-shaped barrier, which can stop high-speed vehicles. There are also 28 star-shaped barriers, cabled together with ramps going over the cables. They are easily deployable, lightweight and can block 360 degrees. Both will cause limited damage to roadways.

Public Comment: None

Motion: I, Commissioner Mitchell, move to proceed with approval for staff to purchase road safety barriers for the quoted amount of \$99,536.00. **Seconded by:** Donald Gilman. **Vote:** Motion passed unanimously.

23. DISCUSSION/FOR POSSIBLE ACTION: Update, discussion, and provide direction to county staff and lobbyists regarding upcoming bills and legislation affecting Storey County including, but not limited to, the following: SB69 Storey County bill adjusting tax abatement programming, Senate bill(s) regarding regional planning Storey, Washoe, Lyon, Carson, Douglas, and cities, Daly; SB78 amending regulations related to the Comstock Historic District Commission; AB77 tax abatement; AB32 V&T Railway, AB14 voter registration of candidates; AB70 energy; AB96 master plans contents; AB64 open meeting law; AB66 addition of district judges; AB222 Public Works compliance; AB112 sick leave for family and CBAs; AB152 public records requests; AB128 public records requests ombudsman including open cases; AB180 street vendors; AB131 accessory dwelling units on historic properties; AB226 economic development community benefit analysis; AB147 southern Nevada regional planning; and other bills and BDRs potentially affecting Storey County.

County Manager Austin Osborne introduced lobbyists Will Adler of Silver State Government Relations and Helen Foley of Foley Public Affairs. We are looking at a select number of bills.

- SB69, the abatements bill, the Storey County bill, was scheduled for a hearing, but was canceled due to snow. It is expected to be rescheduled to early March. Storey County will give a presentation, but it could be resolved outside of legislation. AB77 tax abatement bill, state may deny an abatement if not in best interest of the state.
- AB77 is an abatement bill that states the State could deny abatements if it is not in the best interests of the state.

- AB70 is an energy bill regarding abatements, which could give counties the opportunity to comment on abated energy projects.
- AB32, the V&T Railway bill, Commissioner Mitchell will speak on later.
- AB128 is for a public records request ombudsman at the Attorney General's Office, who would decide what is appropriate if a public records request was made during an ongoing investigation.
- AB180 is on street vendors, this applies to counties of 100,000 or more and would limit street vendors. We would just monitor it at this point.
- AB131 involves additional dwelling units in historic properties, applying to populations of over 100,000. We would just monitor it at this point.
- AB96 involves master plans that have heat mitigation. This is also designed for populations of 100,000 or more. We would just monitor it at this point.
- AB66 deals with the addition of district judges. This has been budgeted for in his office as has the Clerk-Treasurer's Office.
- AB64 involves the Open Meeting Law, requiring a 3-minute mandatory comment period.
- AB112 regards sick leave. We are discounting this right now.
- AB152 on public records requests, beyond retention schedule, where documents are destroyed after a period, per NRS, but we would not have to produce them.
- AB222 is dealing with apprentices. We would like to disregard it today.
- AB147 is about voter ID, and it should be removed.

This Friday we have a presentation to the Assembly Committee on Government Affairs, to give the state of affairs in Storey County, including budget, debt, housing, Master Plan and Capital Improvement Plan.

Will Adler and Helen Foley gave their impressions of the status of the highlighted bills, who the stakeholders and sponsors were, and what impact they would have on Storey County.

Commissioner Mitchell spoke on AB77, and said he attended the last GOED board member, and was told they would not go forward with the bill. He said the V&T railway bill, which is a Carson City bill, calls for a study committee on the future of the railway. It is not in debt, but also not profitable without subsidy. Carson City would like to re-allocate their support to other things. We took a position in November.

On AB226, there is a lot of interest in this bill, one reason is to have community benefit for standard abatements, film credits and database abatements. The Legislature is working on language amenable to GOED.

Clerk-Treasurer Jim Hindle said SB100 inserts language into the statute that provides for the Secretary of State's Office to remove the clerk from office if they are not meeting statutory deadlines. Nobody wants elections not to be run right or be done Nevada Association of Clerks and Elections Officers opposes this, because it could remove voters' control over their

election officials. It also allows the SOS to come and take over the election and charge the county, but has no formula or rates, and that opens a large liability. It may have good intentions, but the language is not good, and it is a big risk for the county.

County Manager Austin Osborne then listed the positions of the county on various bills.

SB69 – Support
AB77 – Neutral
AB32 – Support
AB70 – Support
AB128 – Oppose
AB180 – Neutral
AB131 – Neutral
AB96 – Neutral
AB66 – Neutral
AB64 – Neutral
AB152 – Support
AB222 – Disregarding
SB116 – Continue working
AB226 – Continue working
AB208 – Oppose
SB100 – Oppose
SB102 – Oppose

Public Comment: None

Motion: I, Commissioner Mitchell, move to direct county staff and lobbyists to represent Storey County on known BDRs, bills, and other potential legislation affecting Storey County affecting Storey County as discussed on the record at today’s meeting. **Seconded by:** Donald Gilman. **Vote:** Motion passed unanimously.

24. DISCUSSION/FOR POSSIBLE ACTION: For consideration and possible approval of business license second readings:

- A. Cosco Fire Protection Inc. – Contractor / 3620 West Reno Ave, #K ~ Las Vegas, NV
- B. Empire Southwest LLC– Out of County / 3300 St Rose Pkwy ~ Henderson, NV
- C. Inside Out Construction LLC – Contractor / 1940 Currant Ct. ~ Gardnerville, NV
- D. M.A. Mortenson Company – Contractor / 700 Meadow Ln. North ~ Minneapolis, MN
- E. Reed’s Garage – General / 351 N. C St. ~ Virginia City, NV
- F. Staffing Technical Services Inc. – Out of County / 528 W. Roosevelt Rd. Ste. 101 ~ Wheaton, IL

Public Comment: None

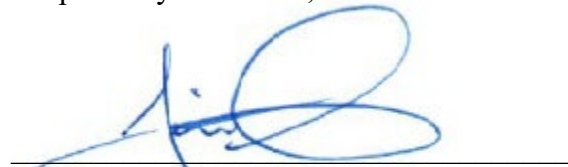
Motion: I, Commissioner Mitchell, move to approve the second readings of business licenses listed under Item #24 as A-F. **Seconded by:** Donald Gilman. **Vote:** Motion passed unanimously.

25. PUBLIC COMMENT (No Action): None

26. ADJOURNMENT OF ALL ACTIVE AND RECESSED BOARDS ON THE AGENDA

Commission Chairman Jay Carmona adjourned the meeting at 12:24 p.m.

Respectfully submitted,



Jim Hindle
Clerk & Treasurer



Board of Storey County Commissioners Agenda Action Report

**Meeting date: 3/18/2025 10:00 AM -
BOCC Meeting**

Estimate of Time Required: 0-5

Agenda Item Type: Consent Agenda

- **Title:** For possible action, approval of business license first readings:
 - A. Bunting Magnetics Co. – Out of County / 500 S. Spencer Rd ~ Newton, KS
 - B. John Curran LLC – Out of County / 415 Keystone Dr. ~ Dayton, NV
 - C. Nuwave International Industries Inc. – Contractor / 1875 Coronado Ave ~ Signal Hill, CA
 - D. SBI Roofing – Contractor / 4201 Trailblazer Loop ~ Roseville, CA
 - E. Silver Sierra Cleaning LLC – Out of County / 4275 W th St. Apt 351 ~ Reno, NV
 - F. Tahoe Brothers Construction LLC – Contractor / 9475 Double R Blvd Ste. 10 ~ Reno, NV

- **Recommended motion:** None required (if approved as part of the Consent Agenda) I move to approve all first readings (if removed from consent agenda by request).

- **Prepared by:** Ashley Mead

Department: Community Development

Contact Number: 775-847-0966

- **Staff Summary:** First readings of submitted business license applications are normally approved on the consent agenda. The applications are then submitted at the next Commissioner's meeting for approval.

- **Supporting Materials:** See Attachments

- **Fiscal Impact:**

- **Legal review required:** False

- **Reviewed by:**

_____ Department Head

Department Name:

_____ County Manager

Other Agency Review: _____

- **Board Action:**

<input type="checkbox"/> Approved	<input type="checkbox"/> Approved with Modification
<input type="checkbox"/> Denied	<input type="checkbox"/> Continued

Storey County Community Development



110 Toll Road ~ Gold Hill Divide
P O Box 526 ~ Virginia City NV 89440

(775) 847-0966 ~ Fax (775) 847-0935
CommunityDevelopment@storeycounty.org

To: Jim Hindle, Clerk's office
Austin Osborne, County Manager

March 10, 2025
Via Email

Fr: Ashley Mead

Please add the following item(s) to the **March 18, 2025**

COMMISSIONERS Consent Agenda:

FIRST READINGS:

- A. Bunting Magnetics Co.** – Out of County / 500 S. Spencer Rd ~ Newton, KS
- B. John Curran LLC** – Out of County / 415 Keystone Dr. ~ Dayton, NV
- C. Nuwave International Industries Inc.** – Contractor / 1875 Coronado Ave ~ Signal Hill, CA
- D. SBI Roofing** – Contractor / 4201 Trailblazer Loop ~ Roseville, CA
- E. Silver Sierra Cleaning LLC** – Out of County / 4275 W th St. Apt 351 ~ Reno, NV
- F. Tahoe Brothers Construction LLC** – Contractor / 9475 Double R Blvd Ste. 10 ~ Reno, NV

Ec: Community Development
Commissioner's Office

Planning Department
Comptroller's Office

Sheriff's Office



Board of Storey County Commissioners Agenda Action Report

**Meeting date: 3/18/2025 10:00 AM -
BOCC Meeting**

Estimate of Time Required: 0 min

Agenda Item Type: Consent Agenda

- **Title:** Approval of claims in the amount of \$7,086,400.92.
- **Recommended motion:** Approval of claims as submitted.
- **Prepared by:** Cory Y Wood

Department: Comptroller

Contact Number: 7758471133

- **Staff Summary:** Please find attached claims.
- **Supporting Materials:** See Attachments
- **Fiscal Impact:**
- **Legal review required:** False
- **Reviewed by:**

_____ Department Head

Department Name:

_____ County Manager

Other Agency Review: _____

- **Board Action:**

<input type="checkbox"/> Approved	<input type="checkbox"/> Approved with Modification
<input type="checkbox"/> Denied	<input type="checkbox"/> Continued



By Check Number

Vendor Number	Vendor DBA Name	Payment Date	Payment Type	Discount Amount	Payment Amount	Number
Bank Code: AP Bank-AP Bank						
406777	DOWL LLC	01/24/2025	EFT	0.00	50,568.40	10647
406777	DOWL LLC	01/24/2025	EFT	0.00	11,697.50	10648
406777	DOWL LLC	01/24/2025	EFT	0.00	1,637.50	10649
406777	DOWL LLC	01/24/2025	EFT	0.00	6,763.75	10650
406777	DOWL LLC	01/24/2025	EFT	0.00	66.25	10651
406777	DOWL LLC	01/24/2025	EFT	0.00	41,873.49	10652
403795	ALPINE LOCK INC	01/24/2025	Regular	0.00	40.00	116486
406619	AMAZON BUSINESS	01/24/2025	Regular	0.00	117.93	116487
406838	AMERICAN TRUCK & TRAILER REPAI	01/24/2025	Regular	0.00	380.73	116488
404980	HIGH SIERRA BUSINESS SYSTEMS IN	01/24/2025	Regular	0.00	4,271.42	116489
407195	WESTERN STATES FIRE PROTECTION	01/24/2025	Regular	0.00	150.00	116490
403651	ARC HEALTH AND WELLNESS	01/24/2025	Regular	0.00	5,100.00	116491
406683	SIERRA MEAT CO	01/24/2025	Regular	0.00	1,344.88	116492
407058	ARNOLD, JANET	01/24/2025	Regular	0.00	524.10	116493
100073	AUTO & TRUCK ELECTRIC,INC	01/24/2025	Regular	0.00	1,580.00	116494
101605	SIERRA ELECTRONICS	01/24/2025	Regular	0.00	518.50	116495
407295	SUN MOUNTAIN MICRO FARM	01/24/2025	Regular	0.00	400.00	116496
406848	SAM SHAD PRODUCTIONS	01/24/2025	Regular	0.00	100,000.00	116497
404634	SIX MILE CANYON MINI STORAGE	01/24/2025	Regular	0.00	120.00	116498
100471	MOUNDDHOUSE TRUE VALUE HARDW	01/24/2025	Regular	0.00	294.93	116499
99763	CANYON GENERAL IMPROVEMENT I	01/24/2025	Regular	0.00	100.30	116500
100475	CAPITAL CITY AUTO PARTS	01/24/2025	Regular	0.00	61.24	116501
404500	CARSON DODGE CHRYSLER INC	01/24/2025	Regular	0.00	376.55	116502
405831	CARSON NOW LLC	01/24/2025	Regular	0.00	200.00	116503
404216	CARSON VALLEY OIL CO	01/24/2025	Regular	0.00	10,628.45	116504
403775	CHARM-TEX	01/24/2025	Regular	0.00	1,278.81	116505
404798	CINTAS	01/24/2025	Regular	0.00	23.57	116506
100505	CITY OF CARSON TREASURER	01/24/2025	Regular	0.00	45,000.00	116507
404434	CIVICPLUS, LLC	01/24/2025	Regular	0.00	606.38	116508
405134	CMC TIRE INC	01/24/2025	Regular	0.00	2,597.46	116509
407272	COLLEEN BROWNWELL TRUST	01/24/2025	Regular	0.00	123.41	116510
406406	COMSTOCK PROPANE	01/24/2025	Regular	0.00	6,592.51	116511
406372	CONSTRUCTION MATERIALS ENGINI	01/24/2025	Regular	0.00	43,625.00	116512
103220	ON THE SIDE GRAPHICS & SIGNS	01/24/2025	Regular	0.00	599.00	116513
406928	CRESCO RESCO	01/24/2025	Regular	0.00	6,482.49	116514
404466	FIRST CHOICE COFFEE SRV	01/24/2025	Regular	0.00	404.65	116515
404684	DASH MEDICAL GLOVES,LLC	01/24/2025	Regular	0.00	326.08	116516
406749	DELIVERY CONCEPTS	01/24/2025	Regular	0.00	41.20	116517
405128	DEVNET, INC	01/24/2025	Regular	0.00	2,167.41	116518
405997	DIVIDE GRAPHICS	01/24/2025	Regular	0.00	90.00	116519
403576	DOMINION VOTING SYSTEMS INC.	01/24/2025	Regular	0.00	16,242.43	116520
406831	DREILING, DEREK CHARLES	01/24/2025	Regular	0.00	181.25	116521
404509	FASTENAL COMPANY	01/24/2025	Regular	0.00	1,540.58	116522
405969	FLEETPRIDE, INC	01/24/2025	Regular	0.00	451.54	116523
407074	GARDA CL SOUTHWEST INC	01/24/2025	Regular	0.00	26.20	116524
100856	GRANITE CONSTRUCTION COMPAN'	01/24/2025	Regular	0.00	4,166.40	116525
103470	GREAT BASIN TERMITE & PEST CON	01/24/2025	Regular	0.00	135.00	116526
404514	ENVORONMENTAL TEST SYSTEMS	01/24/2025	Regular	0.00	2,749.00	116527
406941	BLIZZ INC	01/24/2025	Regular	0.00	3,500.00	116528
405293	HIGHLAND ELECTRIC AND LIGHTING	01/24/2025	Regular	0.00	661.83	116529
406931	HONEA, GERALDINE A	01/24/2025	Regular	0.00	1,198.71	116530
100978	INTERSTATE OIL CO	01/24/2025	Regular	0.00	4,267.74	116531
405726	IT1 CONSULTING, LLC	01/24/2025	Regular	0.00	5,518.36	116532
403834	IT1 SOURCE LLC	01/24/2025	Regular	0.00	3,000.26	116533

Check Register

Vendor Number	Vendor DBA Name	Payment Date	Payment Type	Discount Amount	Payment Amount	Number
103317	SILVER STATE INTERNATIONAL TRUC	01/24/2025	Regular	0.00	413.45	116534
406617	JOHN H BURROWS INC	01/24/2025	Regular	0.00	454.05	116535
405799	JOHNSON LAW PRACTICE PLLC	01/24/2025	Regular	0.00	954.61	116536
407219	K7 CONSTRUCTION INC	01/24/2025	Regular	0.00	660,859.90	116537
101040	L N CURTIS & SONS	01/24/2025	Regular	0.00	109.20	116538
407118	L3HARRIS TECHNOLOGIES INC	01/24/2025	Regular	0.00	23,636.91	116539
101030	LIFE-ASSIST INC	01/24/2025	Regular	0.00	22.02	116540
404849	LINDE GAS & EQUIPMENT INC.	01/24/2025	Regular	0.00	166.86	116541
404102	LIQUID BLUE EVENTS LLC	01/24/2025	Regular	0.00	8,119.20	116542
404363	MA LABS INC	01/24/2025	Regular	0.00	6,259.78	116543
103237	WESTERN ENVIORNMENTAL TESTIN	01/24/2025	Regular	0.00	200.00	116544
404565	MOUNTAIN DENTAL	01/24/2025	Regular	0.00	553.00	116545
101228	NEV ADMIN BLDG & GROUNDS	01/24/2025	Regular	0.00	7,206.66	116546
101226	NEV COMPTROLLER STE 5	01/24/2025	Regular	0.00	15,234.00	116547
101343	NEV DEPT HUMAN RESOURCES	01/24/2025	Regular	0.00	1,127.14	116548
101220	NEV DIV OF MINERALS	01/24/2025	Regular	0.00	3,280.00	116549
101265	NEV EMPLOYMENT SECURITY	01/24/2025	Regular	0.00	7,064.88	116550
102647	NEV PURCHASING DIVISION	01/24/2025	Regular	0.00	3,006.25	116551
101250	NEVADA SHERIFF & CHIEFS AASSOC	01/24/2025	Regular	0.00	1,200.00	116552
102295	NTU TECHNOLOGIES INC	01/24/2025	Regular	0.00	4,426.80	116553
99806	CONCENTRA MEDICAL CENTERS	01/24/2025	Regular	0.00	272.00	116554
406628	OLIVER PACKAGING & EQUIPMENT	01/24/2025	Regular	0.00	2,085.92	116555
406417	OOSOSHARP, LLC	01/24/2025	Regular	0.00	1,031.12	116556
404118	OPTUMINSIGHT INC	01/24/2025	Regular	0.00	435.00	116557
405127	O'REILLY AUTO PARTS	01/24/2025	Regular	0.00	1,663.96	116558
404870	LAW OFFICE OF JOAN OSBORNE	01/24/2025	Regular	0.00	2,520.00	116559
403329	PROTECTION DEVICES INC	01/24/2025	Regular	0.00	75.00	116560
407124	RAINBOW BEND HOMEOWNERS AS:	01/24/2025	Regular	0.00	500.00	116561
102388	REDWOOD TOXICOLOGY LABORATC	01/24/2025	Regular	0.00	218.00	116562
405777	RENO BRAKE, INC	01/24/2025	Regular	0.00	674.56	116563
407299	RUSTIN MCNAIDER PROPERTIES LLC	01/24/2025	Regular	0.00	850.48	116564
103241	SBC GLOBAL SERVICES IN LD	01/24/2025	Regular	0.00	78.10	116565
406778	SILVER STATE ANALYTICAL LABORAT	01/24/2025	Regular	0.00	1,266.00	116566
406367	SHEPHERD SCOTT F.	01/24/2025	Regular	0.00	500.00	116567
102461	SIERRA CONTROLS LLC	01/24/2025	Regular	0.00	722.50	116568
404750	SIERRA NEVADA CONTSTRUCTION II	01/24/2025	Regular	0.00	270,950.69	116569
406945	SILVER STATE JANITORIAL SERVICES	01/24/2025	Regular	0.00	480.00	116570
101658	SPB UTILITY SERVICES INC	01/24/2025	Regular	0.00	5,517.00	116571
405989	TSA CUSTOM CAR AND TRUCK	01/24/2025	Regular	0.00	34,282.72	116572
101710	ST CO TREASURER	01/24/2025	Regular	0.00	61.80	116573
405475	STAPLES BUSINESS ADVANTAGE	01/24/2025	Regular	0.00	47.69	116574
101229	OFFICE OF THE STATE CONTROLLER	01/24/2025	Regular	0.00	8,420.00	116575
407051	SUNRISE DISTRIBUTING LLC	01/24/2025	Regular	0.00	1,165.35	116576
405244	SUTTON HAGUE LAW CORP	01/24/2025	Regular	0.00	6,182.00	116577
406676	SWITCH	01/24/2025	Regular	0.00	5,314.10	116578
407068	SYSCO SACRAMENTO INC	01/24/2025	Regular	0.00	2,806.52	116579
405185	THATCHER COMPANY OF NEVADA, I	01/24/2025	Regular	0.00	1,244.69	116580
103063	THE PITNEY BOWES RESERVE ACCOI	01/24/2025	Regular	0.00	150.00	116581
406738	UBEO BUSINESS SERVICES	01/24/2025	Regular	0.00	41.38	116582
102195	ULINE	01/24/2025	Regular	0.00	1,843.90	116583
407142	UNIFIRST CORPORATION	01/24/2025	Regular	0.00	537.43	116584
404522	UNIVERSITY OF CHICAGO PRESS	01/24/2025	Regular	0.00	258.74	116585
406623	US FOODS INC	01/24/2025	Regular	0.00	7,708.18	116586
403268	CELLCO PARTNERSHIP	01/24/2025	Regular	0.00	276.84	116587
101920	WESTERN NEVADA SUPPLY CO	01/24/2025	Regular	0.00	436.49	116588
405184	UNIFORMS2YOU / RENO UNIFORMS	01/24/2025	Regular	0.00	2,120.89	116589

Check Register

Packet: APPKT07487-2025-01-24 AP Payments cw

Vendor Number 404295 Vendor DBA Name WELLS ONE COMMERCIAL CARD Payment Date 01/24/2025 Payment Type Bank Draft Discount Amount 0.00 Payment Amount 82,480.90 Number DFT0002065

Bank Code AP Bank Summary

Payment Type	Payable Count	Payment Count	Discount	Payment
Regular Checks	229	104	0.00	1,386,840.06
Manual Checks	0	0	0.00	0.00
Voided Checks	0	0	0.00	0.00
Bank Drafts	51	1	0.00	82,480.90
EFT's	6	6	0.00	112,606.89
	286	111	0.00	1,581,927.85

* County Commissioners approval is reported in the Board of County Commissioners Meeting Minutes

Cory Y. Wood 1/23/2025
 Processed & Submitted to Treasurer by Comptroller Admin Date

Approved By:

[Signature] 3.6.25
 Comptroller Date

Woodgate 1-27-2025
 Treasurer Date

1/22 \$50,000.-
 1/27 - \$32,480.-
 Total. 82,480.90

Fund Summary

Fund	Name	Period	Amount
999	Pooled Cash Account	1/2025	<u>1,581,927.85</u>
			1,581,927.85



STOREY COUNTY

Check Register

Packet: APPKT07580 - 2025-02-21 AP Payments cw

By Check Number

Vendor Number	Vendor DBA Name	Payment Date	Payment Type	Discount Amount	Payment Amount	Number
Bank Code: AP Bank-AP Bank						
406777	DOWL LLC	02/21/2025	EFT	0.00	2,995.00	10664
406777	DOWL LLC	02/21/2025	EFT	0.00	23,313.75	10665
406777	DOWL LLC	02/21/2025	EFT	0.00	470.00	10666
406777	DOWL LLC	02/21/2025	EFT	0.00	3,936.25	10667
406777	DOWL LLC	02/21/2025	EFT	0.00	6,500.00	10668
406777	DOWL LLC	02/21/2025	EFT	0.00	23,575.00	10669
406777	DOWL LLC	02/21/2025	EFT	0.00	463.75	10670
400481	ALLISON, MACKENZIE, LTD	02/21/2025	Regular	0.00	350.00	116737
403795	ALPINE LOCK INC	02/21/2025	Regular	0.00	314.00	116738
406619	AMAZON BUSINESS	02/21/2025	Regular	0.00	176.41	116739
403651	ARC HEALTH AND WELLNESS	02/21/2025	Regular	0.00	5,137.00	116740
405268	ARGENTUM PARTNERS, LTD	02/21/2025	Regular	0.00	5,000.00	116741
406683	SIERRA MEAT CO	02/21/2025	Regular	0.00	1,776.20	116742
101605	SIERRA ELECTRONICS	02/21/2025	Regular	0.00	290.00	116743
100471	MOUNDHOUSE TRUE VALUE HARDV	02/21/2025	Regular	0.00	303.00	116744
99763	CANYON GENERAL IMPROVEMENT I	02/21/2025	Regular	0.00	1,398.00	116745
100475	CAPITAL CITY AUTO PARTS	02/21/2025	Regular	0.00	2,693.53	116746
100792	CAPITAL FORD INC	02/21/2025	Regular	0.00	232.91	116747
100486	CAPITOL REPORTERS	02/21/2025	Regular	0.00	310.00	116748
405831	CARSON NOW LLC	02/21/2025	Regular	0.00	200.00	116749
404216	CARSON VALLEY OIL CO	02/21/2025	Regular	0.00	11,718.90	116750
99720	CASELLE INC	02/21/2025	Regular	0.00	289.00	116751
407314	PAUL CAVIN ARCHITECT LLC	02/21/2025	Regular	0.00	37,300.00	116752
404798	CINTAS	02/21/2025	Regular	0.00	14.30	116753
100655	COMMUNITY CHEST INC	02/21/2025	Regular	0.00	250.00	116754
406406	COMSTOCK PROPANE	02/21/2025	Regular	0.00	6,164.21	116755
406372	CONSTRUCTION MATERIALS ENGINI	02/21/2025	Regular	0.00	32,532.50	116756
404356	LANGUAGE LINK	02/21/2025	Regular	0.00	63.90	116757
100670	CFOA	02/21/2025	Regular	0.00	180.00	116758
100670	CFOA	02/21/2025	Regular	0.00	240.00	116759
103220	ON THE SIDE GRAPHICS & SIGNS	02/21/2025	Regular	0.00	176.00	116760
404466	FIRST CHOICE COFFEE SRV	02/21/2025	Regular	0.00	460.35	116761
407042	DICKSON, BRANDY	02/21/2025	Regular	0.00	708.94	116762
405997	DIVIDE GRAPHICS	02/21/2025	Regular	0.00	275.00	116763
103307	RECORDERS ASSOCIATION OF NEVA	02/21/2025	Regular	0.00	180.00	116764
404509	FASTENAL COMPANY	02/21/2025	Regular	0.00	2,127.09	116765
101485	FERGUSON ENTERPRISES INC	02/21/2025	Regular	0.00	508.00	116766
407074	GARDA CL SOUTHWEST INC	02/21/2025	Regular	0.00	342.30	116767
404145	GRAFICS UNLIMITED	02/21/2025	Regular	0.00	3,490.50	116768
103470	GREAT BASIN TERMITE & PEST CON	02/21/2025	Regular	0.00	75.00	116769
405784	LAKOTA HRM, LLC	02/21/2025	Regular	0.00	1,808.00	116770
406103	MISBEHAVEN FARMS, LLC	02/21/2025	Regular	0.00	485.00	116771
102983	USABLUEBOOK	02/21/2025	Regular	0.00	1,054.09	116772
404886	A SIGN SHOP	02/21/2025	Regular	0.00	673.90	116773
404328	INTERCEPT INC	02/21/2025	Regular	0.00	3,623.00	116774
100978	INTERSTATE OIL CO	02/21/2025	Regular	0.00	5,228.96	116775
405726	IT1 CONSULTING, LLC	02/21/2025	Regular	0.00	5,683.41	116776
403834	IT1 SOURCE LLC	02/21/2025	Regular	0.00	4,037.79	116777
103317	SILVER STATE INTERNATIONAL TRUC	02/21/2025	Regular	0.00	137.00	116778
406645	JOHN'S SPRING AND SUSPENSION LI	02/21/2025	Regular	0.00	2,439.66	116779
405799	JOHNSON LAW PRACTICE PLLC	02/21/2025	Regular	0.00	2,387.50	116780
407219	K7 CONSTRUCTION INC	02/21/2025	Regular	0.00	584,861.75	116781
101040	L N CURTIS & SONS	02/21/2025	Regular	0.00	580.40	116782
407317	LAXALT & NOMURA LTD	02/21/2025	Regular	0.00	6,285.14	116783

Vendor Number	Vendor DBA Name	Payment Date	Payment Type	Discount Amount	Payment Amount	Number
101030	LIFE-ASSIST INC	02/21/2025	Regular	0.00	1,745.47	116784
405548	LUMOS & ASSOCIATES, INC	02/21/2025	Regular	0.00	4,551.10	116785
404363	MA LABS INC	02/21/2025	Regular	0.00	5,263.94	116786
102857	MICHAEL HOHL MOTOR CO	02/21/2025	Regular	0.00	18.38	116787
406735	MODERN IMAGING SOLUTIONS, INC	02/21/2025	Regular	0.00	173.90	116788
403096	MONARCH DIRECT LLC	02/21/2025	Regular	0.00	61.80	116789
403317	NEV DEPT PUBLIC SAFETY	02/21/2025	Regular	0.00	976.25	116790
103377	NEV DIV ENVIRONMENT PROTE	02/21/2025	Regular	0.00	140.00	116791
404715	NEVADA ASSOCIATION OF EMPLOYE	02/21/2025	Regular	0.00	500.00	116792
103451	NEVADA JUDGES OF LIMITED JURISD	02/21/2025	Regular	0.00	250.00	116793
407001	UNIVERSAL ENGINEERING SCIENCES	02/21/2025	Regular	0.00	3,464.75	116794
406628	OLIVER PACKAGING & EQUIPMENT	02/21/2025	Regular	0.00	3,613.44	116795
406417	OOSOSHARP, LLC	02/21/2025	Regular	0.00	2,095.67	116796
404118	OPTUMINSIGHT INC	02/21/2025	Regular	0.00	435.00	116797
405127	O'REILLY AUTO PARTS	02/21/2025	Regular	0.00	2,744.98	116798
406359	PACSTATES	02/21/2025	Regular	0.00	1,672.08	116799
101435	PITNEY BOWES GLOBAL FINANCIAL	02/21/2025	Regular	0.00	1,244.34	116800
101417	POST NEV	02/21/2025	Regular	0.00	600.00	116801
403329	PROTECTION DEVICES INC	02/21/2025	Regular	0.00	75.00	116802
103221	PEBP	02/21/2025	Regular	0.00	2,322.33	116803
404863	REFUSE, INC	02/21/2025	Regular	0.00	2,893.57	116804
406629	REINSHAGEN-HERNANDEZ, OLIVIA	02/21/2025	Regular	0.00	640.00	116805
406378	ROADSAFE TRAFFIC SYSTEMS, INC.	02/21/2025	Regular	0.00	3,750.00	116806
103241	SBC GLOBAL SERVICES IN LD	02/21/2025	Regular	0.00	81.29	116807
406778	SILVER STATE ANALYTICAL LABORAT	02/21/2025	Regular	0.00	752.00	116808
102461	SIERRA CONTROLS LLC	02/21/2025	Regular	0.00	970.60	116809
406945	SILVER STATE JANITORIAL SERVICES	02/21/2025	Regular	0.00	480.00	116810
403384	SMITHS FOOD & DRUG CENTER	02/21/2025	Regular	0.00	1,971.29	116811
101658	SPB UTILITY SERVICES INC	02/21/2025	Regular	0.00	6,406.00	116812
405475	STAPLES BUSINESS ADVANTAGE	02/21/2025	Regular	0.00	1,016.93	116813
101335	STATE OF NEVADA, DEPT OF TAXAT	02/21/2025	Regular	0.00	233.95	116814
404892	SUNBELT PUBLICATINS, INC	02/21/2025	Regular	0.00	300.27	116815
407051	SUNRISE DISTRIBUTING LLC	02/21/2025	Regular	0.00	386.35	116816
405244	SUTTON HAGUE LAW CORP	02/21/2025	Regular	0.00	2,382.00	116817
407068	SYSCO SACRAMENTO INC	02/21/2025	Regular	0.00	2,614.29	116818
103306	PURCHASE POWER	02/21/2025	Regular	0.00	1,679.47	116819
406977	THE SIGN AND DESIGN SHOP LLC	02/21/2025	Regular	0.00	72.36	116820
404030	TAHOE SIERRA DISTRIBUTING CO	02/21/2025	Regular	0.00	330.00	116821
407013	TRANSUNION RISK AND ALTERNATI	02/21/2025	Regular	0.00	156.00	116822
406738	UBEO BUSINESS SERVICES	02/21/2025	Regular	0.00	3,505.62	116823
407142	UNIFIRST CORPORATION	02/21/2025	Regular	0.00	522.62	116824
406623	US FOODS INC	02/21/2025	Regular	0.00	8,712.07	116825
101845	US POSTOFFICE (VC)	02/21/2025	Regular	0.00	300.00	116826
101845	US POSTOFFICE (VC)	02/21/2025	Regular	0.00	188.00	116827
407315	DELTA SALOON	02/21/2025	Regular	0.00	1,500.00	116828
407181	VERITEXT LLC	02/21/2025	Regular	0.00	265.00	116829
406579	WASHOE COUNTY	02/21/2025	Regular	0.00	325.00	116830
405574	WASHOE COUNTY FORENSIC SCIENC	02/21/2025	Regular	0.00	800.00	116831
101809	WEDCO INC	02/21/2025	Regular	0.00	740.00	116832
101920	WESTERN NEVADA SUPPLY CO	02/21/2025	Regular	0.00	1,711.57	116833
405794	WHARTON CONCRETE FORMING SU	02/21/2025	Regular	0.00	11,294.30	116834
406763	WINTER EQUIPMENT COMPANY INC	02/21/2025	Regular	0.00	337.53	116835
405184	UNIFORMS2YOU / RENO UNIFORMS	02/21/2025	Regular	0.00	2,635.86	116836

Check Register

Vendor Number	Vendor DBA Name	Payment Date	Payment Type	Discount Amount	Payment Amount	Number
404295	WELLS ONE COMMERCIAL CARD	02/21/2025	Bank Draft	0.00	44,319.76	DFT0002086

Bank Code AP Bank Summary

Payment Type	Payable Count	Payment Count	Discount	Payment
Regular Checks	236	100	0.00	826,465.01
Manual Checks	0	0	0.00	0.00
Voided Checks	0	0	0.00	0.00
Bank Drafts	48	1	0.00	44,319.76
EFT's	7	7	0.00	61,253.75
	291	108	0.00	932,038.52

* County Commissioners approval is reported in the Board of County Commissioners Meeting Minutes

Cory H. Wood 2/20/2025
 Processed & Submitted to Treasurer by Comptroller Admin Date

Approved By:

[Signature] 3.6.25
 Comptroller Date

[Signature] 2/20/25
 Treasurer - Deputy Date

Fund Summary

Fund	Name	Period	Amount
999	Pooled Cash Account	2/2025	932,038.52
			<u>932,038.52</u>



STOREY COUNTY

Check Register

Packet: APPKT07596 - 2025-02-27 SPCL CHK NV Energy cw

By Check Number

Vendor Number	Vendor DBA Name	Payment Date	Payment Type	Discount Amount	Payment Amount	Number
Bank Code: AP Bank-AP Bank 101630	NV ENERGY	02/27/2025	Regular	0.00	3,000.00	116849

Bank Code AP Bank Summary

Payment Type	Payable Count	Payment Count	Discount	Payment
Regular Checks	1	1	0.00	3,000.00
Manual Checks	0	0	0.00	0.00
Voided Checks	0	0	0.00	0.00
Bank Drafts	0	0	0.00	0.00
EFT's	0	0	0.00	0.00
	1	1	0.00	3,000.00

County Commissioners approval is reported in the Board of County Commissioners Meeting Minutes

Cory Y. [Signature] 2/27/25
 Processed & Submitted to Treasurer by Comptroller Admin Date

Approved By: [Signature] 2-27-28
 Comptroller Date

[Signature] 2-27-28
 Treasurer Date

Fund Summary

Fund	Name	Period	Amount
999	Pooled Cash Account	2/2025	3,000.00
			<u>3,000.00</u>



By Check Number

Vendor Number	Vendor Name	Payment Date	Payment Type	Discount Amount	Payment Amount	Number
405456	PUBLIC EMPLOYEES RETIREMENT BC	02/28/2025	EFT	0.00	87,896.91	10675

Bank Code AP Bank Summary

Payment Type	Payable Count	Payment Count	Discount	Payment
Regular Checks	0	0	0.00	0.00
Manual Checks	0	0	0.00	0.00
Voided Checks	0	0	0.00	0.00
Bank Drafts	0	0	0.00	0.00
EFT's	2	1	0.00	87,896.91
	2	1	0.00	87,896.91

County Commissioners approval is reported in the Board of County Commissioners Meeting Minutes

Kyal 20250227
 Processed & Submitted to Treasurer by Comptroller Admin Date

Approved By: *[Signature]* 36.25
 Comptroller Date

[Signature] 3.4.25
 Treasurer Deputy Date

Fund Summary

Fund	Name	Period	Amount
999	Pooled Cash Account	2/2025	87,896.91
			<u>87,896.91</u>



STOREY COUNTY

Payroll Check Register Report Summary

Pay Period: 2/10/2025-2/23/2025

Packet: PRPKT02600 - 2025-02-28 Payroll kc
Payroll Set: Storey County - 01

Type	Count	Amount
Regular Checks	3	3,910.53
Manual Checks	0	0.00
Reversals	0	0.00
Voided Checks	0	0.00
Direct Deposits	194	391,602.70
Total	197	395,513.23

* County Commissioners approval is reported in the
Board of County Commissioners Meeting Minutes

20250227
 Processed & Submitted to Treasurer by Comptroller Admin Date

Approved By:
 3-6-25
 Comptroller Date

2-27-25
 Treasurer Date



STOREY COUNTY

Vendor History Report
By Vendor Name

Posting Date Range 02/28/2025 - 02/28/2025
Payment Date Range 02/28/2025 - 02/28/2025

Payable Number	Description	Units	Price	Post Date	1099 Account Number	Payment Number	Payment Date	Account Name	Amount	Shipping	Tax	Discount	Net	Payment
Vendor Set: 01 - Storey County Vendors														
404300 - INTERNAL REVENUE SERVICE														
INV0019871	Medicare	0.00	0.00	2/28/2025	001-29503-000	DFT0002088	2/28/2025	Medicare	93,126.40	0.00	0.00	0.00	93,126.40	93,126.40
INV0019872	Medicare	0.00	0.00	2/28/2025	001-29503-000	DFT0002089	2/28/2025	Medicare	13,306.30	0.00	0.00	0.00	13,306.30	13,306.30
INV0019873	Social Security	0.00	0.00	2/28/2025	001-29505-000	DFT0002090	2/28/2025	Social Security	1,118.08	0.00	0.00	0.00	1,118.08	1,118.08
INV0019873	Federal Income Tax w/h	0.00	0.00	2/28/2025	001-29501-000	DFT0002090	2/28/2025	Federal w/holding	44,776.21	0.00	0.00	0.00	44,776.21	44,776.21
INV0019890	Medicare	0.00	0.00	2/28/2025	001-29503-000	DFT0002092	2/28/2025	Medicare	6,351.28	0.00	0.00	0.00	6,351.28	6,351.28
INV0019891	Medicare	0.00	0.00	2/28/2025	001-29503-000	DFT0002093	2/28/2025	Medicare	27,574.53	0.00	0.00	0.00	27,574.53	27,574.53
INV0019891	Federal Income Tax w/h	0.00	0.00	2/28/2025	001-29501-000	DFT0002093	2/28/2025	Federal w/holding	27,574.53	0.00	0.00	0.00	27,574.53	27,574.53
Vendors: (1) Total 01 - Storey County Vendors:									93,126.40	0.00	0.00	0.00	93,126.40	93,126.40
Vendors: (1) Report Total:									93,126.40	0.00	0.00	0.00	93,126.40	93,126.40

County Commissioners approval is reported in the Board of County Commissioners Meeting Minutes

Processed & Submitted to Treasurer by Comptroller Admin 20250227 Date

Approved By: [Signature] 3.6.25 Date

Comptroller: [Signature] 3.4.25 Date

Treasurer: [Signature] 3.4.25 Date



STOREY COUNTY

Payroll Check Register Report Summary

Pay Period: 2/10/2025-2/23/2025

Packet: PRPKT02602 - 2025-02-28: FIRE Payroll tp
Payroll Set: Storey County - 01

Type	Count	Amount
Regular Checks	0	0.00
Manual Checks	0	0.00
Reversals	0	0.00
Voided Checks	0	0.00
Direct Deposits	53	178,402.18
Total	53	178,402.18

* County Commissioners approval is reported in the
Board of County Commissioners Meeting Minutes

Kyal 20250227
 Processed & Submitted to Treasurer by Comptroller Admin Date

Approved By:

[Signature] 3-6-25
 Comptroller Date

[Signature] 3-4-25
 Treasurer Deputy Date



By Check Number

Vendor Number	Vendor Name	Payment Date	Payment Type	Discount Amount	Payment Amount	Number
Bank Code: AP Bank-AP Bank						
405456	PUBLIC EMPLOYEES RETIREMENT BC	02/28/2025	EFT	0.00	164,385.78	10671
407110	ROCKY MOUNTAIN HOSPITAL AND H	02/28/2025	EFT	0.00	6,006.46	10672
404869	SCSO EMPLOYEES ASSOCIATIO	02/28/2025	EFT	0.00	900.00	10673
404639	VOYA INSTITUTIONAL TRUST COMP,	02/28/2025	EFT	0.00	12,520.30	10674
300003	AFLAC	02/28/2025	Regular	0.00	1,750.83	116837
300008	AFSCME LOCAL4041	02/28/2025	Regular	0.00	752.35	116838
300001	COLONIAL LIFE & ACCIDENT INS CO	02/28/2025	Regular	0.00	103.38	116839
407117	COMMONWEALTH OF MASSACHUS	02/28/2025	Regular	0.00	1,200.00	116840
404704	DVM INSURANCE AGENCY	02/28/2025	Regular	0.00	97.36	116841
406598	MICHIGAN STATE DISBURSEMENT U	02/28/2025	Regular	0.00	393.79	116842
300011	NEVADA STATE TREASURER	02/28/2025	Regular	0.00	4.00	116843
406600	NORTHWEST FIRE FIGHTER BENEFIT	02/28/2025	Regular	0.00	2,961.30	116844
103233	PUBLIC EMPLOY RETIREMENT SYSTEM	02/28/2025	Regular	0.00	574.69	116845
300010	STATE COLLECTION & DISBURSEMEI	02/28/2025	Regular	0.00	1,124.44	116846
300006	STOREY CO FIRE FIGHTERS ASSOC	02/28/2025	Regular	0.00	1,800.00	116847
300005	WASHINGTON NATIONAL INS	02/28/2025	Regular	0.00	1,961.56	116848

Bank Code AP Bank Summary

Payment Type	Payable Count	Payment Count	Discount	Payment
Regular Checks	22	12	0.00	12,723.70
Manual Checks	0	0	0.00	0.00
Voided Checks	0	0	0.00	0.00
Bank Drafts	0	0	0.00	0.00
EFT's	13	4	0.00	183,812.54
	35	16	0.00	196,536.24

* County Commissioners approval is reported in the Board of County Commissioners Meeting Minutes

20250227
 Processed & Submitted to Treasurer by Comptroller Admin Date

Approved By: 3-6-25
 Comptroller Date

2-27-25
 Treasurer Date

Fund Summary

Fund	Name	Period	Amount
999	Pooled Cash Account	2/2025	196,536.24
			<u>196,536.24</u>



STOREY COUNTY

Check Register

Packet: APPKT07599 - 2025-02-28 Spl Chk SO Haulmark Cargo
Trailer kc

By Check Number

Vendor Number 403921	Vendor Name TRAILERS PLUS INC	Payment Date 02/28/2025	Payment Type Regular	Discount Amount 0.00	Payment Amount 5,723.25	Number 116850
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Bank Code AP Bank Summary

Payment Type	Payable Count	Payment Count	Discount	Payment
Regular Checks	1	1	0.00	5,723.25
Manual Checks	0	0	0.00	0.00
Voided Checks	0	0	0.00	0.00
Bank Drafts	0	0	0.00	0.00
EFT's	0	0	0.00	0.00
	1	1	0.00	5,723.25

* County Commissioners approval is reported in the Board of County Commissioners Meeting Minutes

Kyal 20250228
 Processed & Submitted to Treasurer by Comptroller Admin Date

Approved By:
AMC 3.6.25
 Comptroller Date

Alton 2.28.25
 Treasurer Date

Fund Summary

Fund	Name	Period	Amount
999	Pooled Cash Account	2/2025	5,723.25
			<u>5,723.25</u>



STOREY COUNTY

Check Register

Packet: APPKT07597 - 2025-02-28 Core Title Wire/Draft cw

By Check Number

Vendor Number	Vendor DBA Name	Payment Date	Payment Type	Discount Amount	Payment Amount	Number
Bank Code: AP Bank-AP Bank 407259	CORETITLE GROUP, LLC	02/28/2025	Bank Draft	0.00	3,604,236.34	DFT0002094

Bank Code AP Bank Summary

Payment Type	Payable Count	Payment Count	Discount	Payment
Regular Checks	0	0	0.00	0.00
Manual Checks	0	0	0.00	0.00
Voided Checks	0	0	0.00	0.00
Bank Drafts	1	1	0.00	3,604,236.34
EFT's	0	0	0.00	0.00
	1	1	0.00	3,604,236.34

* County Commissioners approval is reported in the Board of County Commissioners Meeting Minutes

Cory H. Wood 2/27/25
 Processed & Submitted to Treasurer by Comptroller Admin Date

Approved By:

[Signature] 2.27.25
 Comptroller Date

[Signature] 3/3/25
 Treasurer Date

Fund Summary

Fund	Name	Period	Amount
999	Pooled Cash Account	2/2025	3,604,236.34
			<u>3,604,236.34</u>



STOREY COUNTY

Check Register

Packet: APPKT07619 - 2025-03-04 SPCL CHK Co Mngr cw

By Check Number

Vendor Number	Vendor DBA Name	Payment Date	Payment Type	Discount Amount	Payment Amount	Number
Bank Code: AP Bank-AP Bank						
407290	WILLYGOAT LLC	03/04/2025	Regular	0.00	8,000.00	116851

Bank Code AP Bank Summary

Payment Type	Payable Count	Payment Count	Discount	Payment
Regular Checks	1	1	0.00	8,000.00
Manual Checks	0	0	0.00	0.00
Voided Checks	0	0	0.00	0.00
Bank Drafts	0	0	0.00	0.00
EFT's	0	0	0.00	0.00
	1	1	0.00	8,000.00

* County Commissioners approval is reported in the Board of County Commissioners Meeting Minutes

Cory Y. Wood 3/4/25
 Processed & Submitted to Treasurer by Comptroller Admin Date

Approved By:
[Signature] _____
 Comptroller Date

[Signature] 3/4/2025
 Treasurer Date

Fund Summary

Fund	Name	Period	Amount
999	Pooled Cash Account	3/2025	8,000.00
			<hr/>
			8,000.00





Board of Storey County Commissioners Agenda Action Report

**Meeting date: 3/18/2025 10:00 AM -
BOCC Meeting**

Estimate of Time Required: 5 mins

Agenda Item Type: Discussion/Possible Action

- **Title:** Consideration and possible approval for the County Manager to sign Exhibit A of the AcTalent Services Agreement with AcTalent for the revised funding amount of \$186,000.
- **Recommended motion:** I (commissioner) move to approve the County Manager to sign Exhibit A of the AcTalent Services Agreement with AcTalent for the revised funding amount of \$186,000.
- **Prepared by:** Brandie Lopez

Department: HR

Contact Number: 775-847-0968

- **Staff Summary:** Last month, I presented a request for \$165,000 to secure a qualified candidate through AcTalent, a staffing agency. Unfortunately, the initial relationship did not work out as expected. AcTalent has since identified a new candidate with enhanced qualifications and skills. As a result, the revised cost for securing this candidate is \$186,000. This item seeks approval for the updated funding amount of \$186,000 to move forward with the revised candidate selection.
- **Supporting Materials:** See Attachments
- **Fiscal Impact:**
- **Legal review required:** False
- **Reviewed by:**

_____ Department Head

Department Name:

_____ County Manager

Other Agency Review: _____

- **Board Action:**

<input type="checkbox"/> Approved	<input type="checkbox"/> Approved with Modification
<input type="checkbox"/> Denied	<input type="checkbox"/> Continued



EXHIBIT A

Pursuant to the terms and conditions of the Contract Talent Services Agreement (“Agreement”) dated 10/17/2024 by and between Actalent, Inc. (“Actalent”) and Storey County (“Client”), Client agrees to reimburse Actalent in full at the following approved rates:

Consultant Information

Division	Engineering			
Client Job Title/Consultant Name	Christopher Trotta			
Actalent Job Title	Construction Project Manager			
Right to Hire Duration (Section 11.2)	12 months			
Guarantee Period (Section 12.2)	40 business hours			

Standard Billing Rates

Straight Time Billing Rate	\$85.00/hr			
Overtime Billing Rate	1.5 X BR			
Double Time Billing Rate				

Additional Billing Rates

Vacation Billing Rate (40 hours) (\$)*	INCLUDED			
Holiday Billing Rate (10 days) (\$)*	INCLUDED			
Drug Screening Rate (\$)*	INCLUDED			
Background Check Rate (\$)*	INCLUDED			

*Excluding applicable sales or other tax

** Pursuant to section 15.15 of the Agreement, Actalent may adjust bill rates up to 3% within the first 60 days of every calendar year and will execute a revised Exhibit A with Client.

AGREED AND ACCEPTED:

Client : Storey County

Actalent, Inc.

By: _____
(Signature)

By: _____
(Signature)

(Name/Title)

(Name/Title)

(Date)

(Date)



Board of Storey County Commissioners Agenda Action Report

Meeting date: 3/18/2025 10:00 AM -
BOCC Meeting

Estimate of Time Required: 20

Agenda Item Type: Discussion/Possible Action

- **Title:** Consideration and possible approval of the Capital Improvement Plan for fiscal years 26-30.
- **Recommended motion:** I Commissioner _____, move to approve the Capital Improvement Plan for fiscal years 26-30 as presented.
-
- I Commissioner _____, move to approve the Capital Improvement Plan for fiscal years 26-30 with the following changes ---.
- **Prepared by:** Jennifer McCain

Department: Comptroller

Contact Number: 7758471133

- **Staff Summary:** The attached Capital Improvement Plan encompasses (5) five fiscal years (2026-2030). As mentioned in the previous Commission meetings, the Capital Plan continues to evolve to meet the needs of Storey County's communities. With that, the majority of the teams time over the past few months has focused on FY26 to prepare for the budget.
- At this meeting the focus is also on FY26, which totals for the year is \$31,851,571.
- This is broken into 5 areas:
 - Equipment purchases \$1,825,000 - Public Works \$1,480,000, Sheriff \$240,000, Others \$105,000
 - Projects \$19,985,000 - Fiber Project \$4,600,000, Continuing Construction \$5,060,000*, New Construction Projects \$7,290,000, Design/Planning New Projects \$1,175,000, Misc. \$860,000
- Continuing projects may change as this was an estimate of how far current projects will be as of June 30,2025. this will be reflected in the budget as a "rollover".
 - Road projects \$4,940,571
 - Studies \$115,000
 - Water/Sewer \$5,986,000.
- **Supporting Materials:** See Attachments
- **Fiscal Impact:**

- **Legal review required:** False

- **Reviewed by:**

____ Department Head

Department Name:

____ County Manager

Other Agency Review: _____

- **Board Action:**

<input type="checkbox"/> Approved	<input type="checkbox"/> Approved with Modification
<input type="checkbox"/> Denied	<input type="checkbox"/> Continued

Master CIP
FY2025_2030+

Category	Fiscal Year	Project ID	Project Name	Description	Estimated Cost Per/FY	Funding Source	Project Location
Equipment	FY26	E6-61	PW Service Truck	F550/5500 chassis with service body	\$ 150,000	Equip Acqu	PW
Equipment	FY26	E6-62	PW John Deere Loader	To replace TRI loader	\$ 230,000	Equip Acqu	PW
Equipment	FY26	E6-63	PW Dump Truck	To replace Ford L9000 with new 10-wheel	\$ 425,000	Equip Acqu	PW
Equipment	FY26	E6-64	PW Motor Grader	Road Construction	\$ 450,000	Equip Acqu	PW
Equipment	FY26	E6-65	PW Screened Grizzly	Road Construction, rock screening	\$ 40,000	Equip Acqu	PW
Equipment	FY26	E6-66	Patrol Vehicle Rotation	Per 3-year rotation. Some funds recovered auctioning our replaced vehicle.	\$ 80,000	Equip Acqu	SO
Equipment	FY26	E6-67	Patrol Vehicle Rotation	Per 3-year rotation. Some funds recovered auctioning our replaced vehicle.	\$ 80,000	Equip Acqu	SO
Equipment	FY26	E6-68	Patrol Vehicle Rotation	Per 3-year rotation. Some funds recovered auctioning our replaced vehicle.	\$ 80,000	Equip Acqu	SO
Equipment	FY26	E6-69	Com. Dev. Pick-up	Replace current vehicle per rotation schedule	\$ 60,000	Equip Acqu	ComDe
Equipment	FY26	E6-70	EM-County UTV	Emergency Management County UTV	\$ 45,000	Equip Acqu	County
Equipment	FY26	E6-71	Electronic Reader Board	Portable for PW	\$ 25,000	Equip Acqu	PW
Equipment	FY26	E6-72	B&Gs Pickup	Replace current vehicle	\$ 80,000		PW
Equipment	FY26	E7-65	Road Manager Truck	Replace current vehicle	\$ 80,000		PW
Projects	FY26	P4-07	Fairgrounds Upgrade	Water/electric installation - Began FY24 Construction	\$ 820,000		
Projects	FY26	P4-08	LW Fiber	Tower/Microwave link - contingent up LW Sr. Center completion	\$ 50,000	Capital (R)*	TRI
Projects	FY26	P4-11	Lockwood Sr. Center	Demo old/build new facility - Began FY24 Construction- BALANCE to complete project	\$ 1,000,000	25/75 Capital/Grant*	LW

Master CIP
FY2025_2030+

Category	Fiscal Year	Project ID	Project Name	Description	Estimated Cost Per/FY	Funding Source	Project Location
Projects	FY26	P4-12	Fire Station 71	Construct new - Began FY24 Construction	\$ 2,690,000	25/75 Capital/Grant*	VC
Projects	FY26	P4-16	VCYC Center	Pocket park deck at Black & Howell Construction	\$ 1,500,000	VCYC*	VC
Projects	FY26	P5-07	MT Community Center	Construct new metal building to move fire apparatus into.	\$ 3,500,000	Capital (R)*	MT
Projects	FY26	P5-07	MT Community Center	Design/Current building retrofit	\$ 75,000	Capital (R)*	MT
Projects	FY26	P5-16	TRI Sheriff Substation	SO retrofit at SC Complex - TRI - FY24 Fed. Approp. Award - Construction	\$ 500,000	25/75 Capital/Grant*	TRI
Projects	FY26	P5-20	SC Complex Restrooms	Retrofit current single stall to gender specific restrooms Construction	\$ 225,000	Capital	LW
Projects	FY26	P5-24	GH Depot ADA Ramp	ADA Ramp Gold Hill V&T Depot from train to building Design/Plan	\$ 50,000	Rail	GH
Projects	FY26	P5-25	VC Historic Freight Depot	Roof - Engineering, Construction	\$ 1,750,000	Rail	VC
Projects	FY26	P5-33	VC Jail	Construct new facility > Design Construction 26-27	\$ 1,000,000	Capital	VC
Projects	FY26	P5-34	VCH Fire Water Cistern	Annually replace 6, add 2	\$ 600,000	Capital	VCH
Projects	FY26	P6-08	Restroom C Street	Add public restrooms by DA Office Planning/Design	\$ 50,000	VCYC	VC
Projects	FY26	P6-11	LW PW Fuel Tank	Replace double-lined fuel tank at LW Fire Station 74	\$ 315,000	Capital	LW

Master CIP
FY2025_2030+

Category	Fiscal Year	Project ID	Project Name	Description	Estimated Cost Per/FY	Funding Source	Project Location
Projects	FY26	P6-13	Mobile EOC	FY25 Federal Appropriation Request	\$ 250,000	Grant/Capital	County
Projects	FY26	P6-18	VC Sr. Center Fence Replace	Replace chain-link fence with historically appropriate material	\$ 10,000	Capital	VC
Projects	FY26	P6-20	SC Internet Fiber Project Cont. (VCH)	SC Internet Fiber Project Cont. (VCH)	\$ 4,600,000	IT-Capital	VCH
Roads	FY26	R5-40	Countywide Road Projects	Per DOWL CIP	\$ 4,670,571	Infra/Roads	County
Roads	FY26	R5-43	LW Flood Mitigation Implementation	Implement LW Flood Mitigation Study Alt. #3 Rank #2 - Dependent upon award of CPF request (federal funding) in the beginning of calendar year 2025	\$ 50,000	Grant/Roads*	LW
Roads	FY26	R5-45	Six Mile Culverts	Implement Six Mile drainage study - culverts - \$36,000 grant award	\$ 170,000	Grant/Planning	VC/6 M
Roads	FY26	R6-43	SR 341 Retaining Wall	Reconstruct retaining wall - residence of N SR341	\$ 50,000	Roads	VC/6 M
Studies/Plans	FY26	S6-90	GH Depot Land Survey	Survey & reconsolidate land around Gold Hill Depot	\$ 20,000	Rail	GH
Studies/Plans	FY26	S6-92	VCH Water Plan	Update 2022 Water Master Plan for VCH water distribution system	\$ 20,000	Water	VCH
Studies/Plans	FY26	S6-94	VC Parking Study	Update to 1992 Virginia City Parking Study	\$ 75,000	Planning	VC

Master CIP
FY2025_2030+

Category	Fiscal Year	Project ID	Project Name	Description	Estimated Cost Per/FY	Funding Source	Project Location
Water/Sewer	FY26	W5-52	Water Tank Upgrades	Repair/seal water tanks	\$ 85,000	Infra	VC
Water/Sewer	FY26	W5-53	Silver City Water Main	Water main replacement between Gold Hill/Silver City - Began FY24 Construction	\$ 2,376,000	Water*	GH/SC
Water/Sewer	FY26	W5-56	Gold Hill Collection System	Rehabilitation - FY24 Fed Approp Award Construction	\$ 3,250,000	25/75 Capital/Grant*	GH
Water/Sewer	FY26	W6-50	Water Plant Valves	Replace Limitorque Control Packs	\$ 200,000	Infrastructure	VC
Water/Sewer	FY26	W6-52	Hillside to Divide Main	Water transmission main replacement - FY25 Fed. Approp. Request PER/Design	\$ 75,000	Grant/Water*	VC

FY26

Equipment	\$ 1,825,000
Projects	\$ 18,985,000
Roads	\$ 4,940,571
Studies	\$ 115,000
Water/Sewer	\$ 5,986,000
	\$ 31,851,571

Equipment:

Public Works:	\$ 1,480,000
Sheriff	\$ 240,000
Misc:	\$ 105,000
	\$ 1,825,000

Projects:

Fiber Project:	\$ 4,600,000
Construction cont. from FY25:	\$ 5,060,000
New Constructions starting:	\$ 7,290,000
Design/Planning:	\$ 1,175,000
Misc:	\$ 860,000
	\$ 18,985,000

W/O Equipment \$ 30,026,571

Category	Fiscal Year	Project ID	Project Name	Description	Estimated Cost Per/FY	Funding Source	Project Location
Equipment	FY26	E6-61	PW Service Truck	F550/5500 chassis with service body	\$ 150,000	Equip Acqu	PW
Equipment	FY26	E6-62	PW John Deere Loader	To replace TRI loader	\$ 230,000	Equip Acqu	PW
Equipment	FY26	E6-63	PW Dump Truck	To replace Ford L9000 with new 10-wheel	\$ 425,000	Equip Acqu	PW
Equipment	FY26	E6-64	PW Motor Grader	Road Construction	\$ 450,000	Equip Acqu	PW
Equipment	FY26	E6-65	PW Screened Grizzly	Road Construction, rock screening	\$ 40,000	Equip Acqu	PW
Equipment	FY26	E6-66	Patrol Vehicle Rotation	Per 3-year rotation. Some funds recovered auctioning our replaced vehicle.	\$ 80,000	Equip Acqu	SO
Equipment	FY26	E6-67	Patrol Vehicle Rotation	Per 3-year rotation. Some funds recovered auctioning our replaced vehicle.	\$ 80,000	Equip Acqu	SO
Equipment	FY26	E6-68	Patrol Vehicle Rotation	Per 3-year rotation. Some funds recovered auctioning our replaced vehicle.	\$ 80,000	Equip Acqu	SO
Equipment	FY26	E6-69	Com. Dev. Pick-up	Replace current vehicle per rotation schedule	\$ 60,000	Equip Acqu	ComDe
Equipment	FY26	E6-70	EM-County UTV	Emergency Management County UTV	\$ 45,000	Equip Acqu	County
Equipment	FY26	E6-71	Electronic Reader Board	Portable for PW	\$ 25,000	Equip Acqu	PW
Equipment	FY26	E6-72	B&Gs Pickup	Replace current vehicle	\$ 80,000		PW
Equipment	FY26	E7-65	Road Manager Truck	Replace current vehicle	\$ 80,000		PW
Projects	FY26	P4-07	Fairgrounds Upgrade	Water/electric installation - Began FY24 Construction	\$ 820,000		
Projects	FY26	P4-08	LW Fiber	Tower/Microwave link - contingent up LW Sr. Center completion	\$ 50,000	Capital (R)*	TRI
Projects	FY26	P4-11	Lockwood Sr. Center	Demo old/build new facility - Began FY24 Construction - BALANCE to complete project	\$ 1,000,000	25/75 Capital/Grant*	LW

Master CIP
FY2025_2030+

Category	Fiscal Year	Project ID	Project Name	Description	Estimated Cost Per/FY	Funding Source	Project Location
Projects	FY26	P4-12	Fire Station 71	Construct new - Began FY24 Construction	\$ 2,690,000	25/75 Capital/Grant*	VC
Projects	FY26	P4-16	VCTC Center	Pocket park deck at Black & Howell Construction	\$ 1,500,000	VCTC*	VC
Projects	FY26	P5-07	MT Community Center	Construct new metal building to move fire apparatus into.	\$ 3,500,000	Capital (R)*	MT
Projects	FY26	P5-07	MT Community Center	Design/Current building retrofit	\$ 75,000	Capital (R)*	MT
Projects	FY26	P5-16	TRI Sheriff Substation	SO retrofit at SC Complex - TRI - FY24 Fed. Approp. Award - Construction	\$ 500,000	25/75 Capital/Grant*	TRI
Projects	FY26	P5-20	SC Complex Restrooms	Retrofit current single stall to gender specific restrooms Construction	\$ 225,000	Capital	LW
Projects	FY26	P5-24	GH Depot ADA Ramp	ADA Ramp Gold Hill V&T Depot from train to building Design/Plan	\$ 50,000	Rail	GH
Projects	FY26	P5-25	VC Historic Freight Depot	Roof - Engineering, Construction	\$ 1,750,000	Rail	VC
Projects	FY26	P5-33	VC Jail	Construct new facility > Design Construction 26-27	\$ 1,000,000	Capital	VC
Projects	FY26	P5-34	VCH Fire Water Cistern	Annually replace 6, add 2	\$ 600,000	Capital	VCH
Projects	FY26	P6-08	Restroom C Street	Add public restrooms by DA Office Planning/Design	\$ 50,000	VCTC	VC
Projects	FY26	P6-11	LW/PW Fuel Tank	Replace double-lined fuel tank at LW Fire Station 74	\$ 315,000	Capital	LW

Master CIP
FY2025_2030+

Category	Fiscal Year	Project ID	Project Name	Description	Estimated Cost Per/FY	Funding Source	Project Location
Projects	FY26	P6-13	Mobile EOC	FY25 Federal Appropriation Request	\$ 250,000	Grant/Capital	County
Projects	FY26	P6-18	VC Sr. Center Fence Replace	Replace chain-link fence with historically appropriate material	\$ 10,000	Capital	VC
Projects	FY26	P6-20	SC Internet Fiber Project Cont. (VCH)	SC Internet Fiber Project Cont. (VCH)	\$ 4,600,000	IT-Capital	VCH
Roads	FY26	R5-40	Countywide Road Projects	Per DOWL CIP	\$ 4,670,571	Infra/Roads	County
Roads	FY26	R5-43	LW Flood Mitigation Implementation	Implement LW Flood Mitigation Study Alt. #3 Rank #2 - Dependent upon award of CPF request (federal funding) in the beginning of calendar year 2025	\$ 50,000	Grant/Roads*	LW
Roads	FY26	R5-45	Six Mile Culverts	Implement Six Mile drainage study - culverts - \$36,000 grant award	\$ 170,000	Grant/Planning	VC/6 M
Roads	FY26	R6-43	SR 341 Retaining Wall	Reconstruct retaining wall - residence of N SR341	\$ 50,000	Roads	VC/6 M
Studies/Plans	FY26	S6-90	GH Depot Land Survey	Survey & reconsolidate land around Gold Hill Depot	\$ 20,000	Rail	GH
Studies/Plans	FY26	S6-92	VCH Water Plan	Update 2022 Water Master Plan for VCH water distribution system	\$ 20,000	Water	VCH
Studies/Plans	FY26	S6-94	VC Parking Study	Update to 1992 Virginia City Parking Study	\$ 75,000	Planning	VC

Master CIP
FY2025_2030+

Category	Fiscal Year	Project ID	Project Name	Description	Estimated Cost Per/FY	Funding Source	Project Location
Water/Sewer	FY26	W5-52	Water Tank Upgrades	Repair/seal water tanks	\$ 85,000	Infra	VC
Water/Sewer	FY26	W5-53	Silver City Water Main	Water main replacement between Gold Hill/Silver City - Began FY24 Construction	\$ 2,376,000	Water*	GH/SC
Water/Sewer	FY26	W5-56	Gold Hill Collection System	Rehabilitation - FY24 Fed Approp Award Construction	\$ 3,250,000	25/75 Capital/Grant*	GH
Water/Sewer	FY26	W6-50	Water Plant Valves	Replace Limitorque Control Packs	\$ 200,000	Infrastructure	VC
Water/Sewer	FY26	W6-52	Hillside to Divide Main	Water transmission main replacement - FY25 Fed. Approp. Request PER/Design	\$ 75,000	Grant/Water*	VC
Equipment	FY27	E5-60	Road Sweeper	Street Sweeper Truck	\$ 350,000		
Equipment	FY27	E5-62	Peterbuilt Truck	Peterbuilt Dump Truck/Plow/SanderFor TRI	\$ 475,000	Equip Acqu	PW
Equipment	FY27	E5-69	Compactors	Bomag BT-35 walk-behind soils	\$ 10,000	Equip Acqu	PW
Equipment	FY27	E7-60	Service Truck	F550/5500 chassis with service body	\$ 130,000	Equip Acqu	PW
Equipment	FY27	E7-61	Water Truck	Currently must switch out water tank with plow hardware each season	\$ 300,000	Equip Acqu	PW
Equipment	FY27	E7-62	Motor Grader	John Deere	\$ 350,000	Equip Acqu	PW
Equipment	FY27	E7-63	Ditch Compactor	Remote control trench compactor, trench safety	\$ 50,000	Equip Acqu	PW
Equipment	FY27	E7-64	Small Backhoe/loader	Small front loader tractor with backhoe for parks' work	\$ 60,000	Equip Acqu	PW

Master CIP
FY2025_2030+

Category	Fiscal Year	Project ID	Project Name	Description	Estimated Cost Per/FY	Funding Source	Project Location
Equipment	FY27	E7-66	5-Yard AWD Dump Truck	With plow prep	\$ 250,000	Equip Acqu	PW
Equipment	FY27	E7-67	Tractor Trailer	Peterbuilt Truck and RGN Transport Trailer	\$ 300,000	Equip Acqu	PW
Equipment	FY27	E7-68	Vactor Truck	New Vactor Truck to serve north end of county (TRI, LW, PR)	\$ 650,000	Equip Acqu	PW
Equipment	FY27	E7-69	Patrol Vehicle Rotation	Per 3-year rotation. Some funds recovered auctioning our replaced vehicle.	\$ 80,000	Equip Acqu	SO
Equipment	FY27	E7-70	Patrol Vehicle Rotation	Per 3-year rotation. Some funds recovered auctioning our replaced vehicle.	\$ 80,000	Equip Acqu	SO
Equipment	FY27	E7-71	Patrol Vehicle Rotation	Per 3-year rotation. Some funds recovered auctioning our replaced vehicle.	\$ 80,000	Equip Acqu	SO
Equipment	FY27	E7-72	Service Equipment	Heavy vehicle lifts for shop	\$ 150,000	Equip Acqu	PW
Equipment	FY27	E7-73	Backhoe	John Deere 410 to replace existing unit	\$ 250,000	Equip Acqu	PW
Equipment	FY27	E7-74	Loader	John Deere 624 Loader	\$ 350,000	Equip Acqu	PW
Projects	FY27	P4-18	Com. Dev. Generator	Purchase/Install	\$ 100,000	Capital (R)	VC
Projects	FY27	P5-03	VC Parcourse	Installation of exercise course - Miner's Park or new location? Resident request	\$ 29,000	Postponed	VC
Projects	FY27	P5-07	MT Community Center	Retrofit current building to community center	\$ 450,000	Capital (R)*	MT
Projects	FY27	P5-16	TRI Sheriff Substation	SO retrofit at SC Complex - TRI - FY24 Fed. Approp. Award			
Projects	FY27	P5-17	SMAC Elevator	Construction	\$ 1,000,000	Building Rest./Grant	

Master CIP
FY2025_2030+

Category	Fiscal Year	Project ID	Project Name	Description	Estimated Cost Per/FY	Funding Source	Project Location
Projects	FY27	P5-18	SMAC Seismic Retrofit	SMAC Seismic Retrofit	\$ 1,800,000	Building Rest./Grant	VC
Projects	FY27	P5-25	VC Historic Freight Depot	Roof - Construction	\$ 1,000,000	Rail	VC
Projects	FY27	P5-25B	VC Historic Freight Depot	Add ADA compliant restrooms Design/Plan	\$ 500,000		
Projects	FY27	P5-26	VC Historic Freight Depot Roof	New roof	\$ 300,000	Rail	VC
Projects	FY27	P5-27	CH Generator Replace		\$ 250,000	Capital	VC
Projects	FY27	P5-33	VC Jail	Construct new facility Construction	\$ 5,000,000		P1) Life
Projects	FY27	P5-34	VCH Fire Water Cistern	Annually replace 6, add 2	\$ 200,000	Capital	VCH
Projects	FY27	P6-01	VC Historic Freight Depot Paving	Pave parking area around depot	\$ 300,000	Rail	VC
Projects	FY27	P6-05	LW Outdoor Reader Board	Event Display Board by SO Substation	\$ 50,000	Capital	LW
Projects	FY27	P6-07	Washington St. Stairs	Planning - Replace wood stairs at Washington Street between C & D Streets Planning/Design	\$ 23,000	Capital	VC
Projects	FY27	P6-07	Washington St. Stairs	Planning - Replace wood stairs at Washington Street between C & D Streets Construction	\$ 110,000	Infrastructure	VC
Projects	FY27	P6-09	Piper's Structural Retrofit	ADA access and interior improvements	\$ 600,000	Piper's	VC
Projects	FY27	P6-15	Piper's A Street	PER/ER/Design Phase - FY25 Fed Approp - West Wall Infiltration/ Stability Construction	\$ 1,942,850	Grant/Capital	VC
Projects	FY27	P6-20	SC Internet Fiber Project Cont. (MCH)		\$ 3,398,000		
Projects	FY27	P7-02	Courthouse Earthquake Retrofit		\$ 1,800,000	Capital	VC

Master CIP
FY2025_2030+

Category	Fiscal Year	Project ID	Project Name	Description	Estimated Cost Per/FY	Funding Source	Project Location
Projects	FY27	P7-03	Baseball Field Upgrades	Lights, backboard, pavers	\$ 100,000	Parks	VC
Projects	FY27	P7-04	GH Depot Parking	Implement results from FY26 study - Paving	\$ 250,000	Rail	GH
Projects	FY27	P7-05	Piper's Electrical	Upgrade service to 600A	\$ 750,000	Piper's	VC
Projects	FY27	P7-06	Piper's Kitchen	Upgrade kitchen	\$ 60,000	Piper's	VC
Projects	FY27	P7-08	VCH Mailbox Plaza	New mailbox plaza - Commissioner Request	\$ 150,000	Capital	VCH
Projects	FY27	P7-09	Outdoor Shooting Range		\$ 400,000	Capital	County ^e
Projects	FY27	P7-10	SMAC Generator	Purchase/install	\$ 100,000	Building Rest./Grant	VC
Roads	FY27	R6-41	Six Mile Flood Mitigation	Implement Six Mile drainage study - Projects 1, 2, 3	\$ 200,000		
Roads	FY27	R5-43	LW Flood Mitigation Implementation	Implement LW Flood Mitigation Study Alt. #3 Rank #2 - Dependent upon award of CPF request (federal funding) in the beginning of calendar year 2025	\$ 4,586,553		
Roads	FY27	R5-40	Countywide Road Projects	Per DOWL CIP	\$ 3,400,000	Infra/Roads	County ^e
Roads	FY27	R5-42	Fairgrounds Rd. RR	Realign/properly signal RR crossing at Fairgrounds Road/F Street	\$ 1,000,000	Roads/Rail	VC/6 M
Studies/Plans	FY27	S7-90	Roads CIP VC	Update Roads CIP	\$ 100,000	Roads	County ^e
Studies/Plans	FY27	S6-93	Road Abandon Study	Determine what roads may be considered for future abandonment	\$ 100,000	Planning	County ^e
Water/Sewer	FY27	W6-52	Hillside to Divide Main	Water transmission main replacement - FY25 Fed. Approp. Request Construction	\$ 925,000	Grant/Water*	VC
Water/Sewer	FY27	W5-52	Water Tank Upgrades	Repair/seal water tanks	\$ 85,000	Infra	VC

Master CIP
FY2025_2030+

Category	Fiscal Year	Project ID	Project Name	Description	Estimated Cost Per/FY	Funding Source	Project Location
Equipment	FY28	E5-64	Light Plant w/Solar	Portable light plant w/solar array	\$ 20,000	Equip Acqu	PW
Equipment	FY28	E8-60	GMC 3500 Truck	Replace current vehicle per rotation schedule	\$ 80,000	Equip Acqu	PW
Equipment	FY28	E8-61	Pickup	Replace current vehicle per rotation schedule	\$ 75,000	Equip Acqu	CD
Equipment	FY28	E8-62	Pickup	Replace current vehicle per rotation schedule	\$ 75,000	Equip Acqu	CD
Equipment	FY28	E8-63	Service Truck	RAM 5500HD/550 crew-cab, crane, service body	\$ 225,000	Equip Acqu	PW
Equipment	FY28	E8-64	Staff Vehicle	Replace current vehicle per rotation schedule	\$ 50,000	Equip Acqu	CM
Equipment	FY28	E8-65	Staff Vehicle	Replace current vehicle per rotation schedule	\$ 50,000	Equip Acqu	Dispatch
Equipment	FY28	E8-66	Staff Vehicle	Replace current vehicle per rotation schedule	\$ 50,000	Equip Acqu	IT
Equipment	FY28	E8-67	Staff Vehicle	Replace current vehicle per rotation schedule	\$ 50,000	Equip Acqu	PW
Equipment	FY28	E8-68	Staff Vehicle	Replace current vehicle per rotation schedule	\$ 50,000	Equip Acqu	SC
Equipment	FY28	E8-69	Staff Vehicle	Replace current vehicle per rotation schedule	\$ 75,000	Equip Acqu	VCTC
Equipment	FY28	E8-70	Patrol Vehicle	Replace per 3-year rotation. Some funds recovered auctioning replaced vehicle.	\$ 80,000	Equip Acqu	SO
Equipment	FY28	E8-71	Patrol Vehicle	Replace per 3-year rotation. Some funds recovered auctioning replaced vehicle.	\$ 80,000	Equip Acqu	SO
Equipment	FY28	E8-72	Patrol Vehicle	Replace per 3-year rotation. Some funds recovered auctioning replaced vehicle.	\$ 80,000	Equip Acqu	SO
Projects	FY28	P5-12	VCH Community Center	Warming Kitchen, restrooms, breezeway	\$ 400,000	Capital (R)	

Master CIP
FY2025_2030+

Category	Fiscal Year	Project ID	Project Name	Description	Estimated Cost Per/FY	Funding Source	Project Location
Projects	FY28	P5-15	LW Dog Park		\$ 50,000	Capital	
Projects	FY28	P6-06	C Street Pedestrian Walkway	Feasibility Study Sidewalk from SO to 4th Ward	\$ 150,000	Capital	
Projects	FY28	P6-08	Restroom C Street	Add public restrooms by DA Office Construction	\$ 450,000		
Projects	FY28	P6-20	SC Internet Fiber Project Cont. (VCH)		\$ 2,600,000		
Projects	FY28	P7-08	VCH Mailbox Plaza	New mailbox plaza - Commissioner Request	\$ 1,350,000	Capital	VCH
Projects	FY28	P8-01	LCC Gas Lines	Replace gas distribution lines throughout LCC	\$ 500,000	Infrastructure	LW
Projects	FY28	P8-08	LW Land Acquisition	Acquire vacant land north of Rainbow Bend from Washoe Co.	\$ 1,000,000	Capital	LW
Projects	FY28	P8-07	EOC	Emergency Operation Center located near SR 341	\$ 1,500,000	Capital	VCH
Projects	FY28	P8-02	MT Drainage	Implement DVADMP Master Plan	\$ 12,000,000	Capital/Infrastructure	MT
Projects	FY28	P8-03	MT Landscaping	Add landscaping, trees, irrigation around MTCC	\$ 100,000	Capital	MT
Projects	FY28	P8-04	MT Parking Lot	Repave Parking Lot	\$ 200,000	Capital	MT
Projects	FY28	P8-06	VC St. Center Generator	Purchase/install, electrical upgrades	\$ 400,000	Capital	VC
Projects	FY28	P8-09	Piper's HVAC/Plumbing	Add 60 gallon h20 heater, heating, cooling, ventilation	\$ 400,000	Piper's	VC
Projects	FY28	P8-12	Piper's Generator		\$ 100,000	Piper's	VC
Projects	FY28	P8-14	Historic Taylor Street Stairs	Recreate stairs from C to B Street Design	\$ 35,000	Capital	VC
Roads	FY28	R6-41	Six Mile Flood Mitigation	Implement Six Mile drainage study - Projects 1, 2, 3	\$ 7,100,000		
Roads	FY28	R8-41	Northwest Pedestrian Improvements	West side of C St. from Sutton to Carson St - Feasibility Study	\$ 240,000	Roads	VC

Master CIP
FY2025_2030+

Category	Fiscal Year	Project ID	Project Name	Description	Estimated Cost Per/FY	Funding Source	Project Location
Roads	FY28	R8-42	Northeast Pedestrian Improvements	East side of C St. from Sutton to Carson St - Feasibility Study	\$ 240,000	Roads	VC
Roads	FY28	R8-43	North Bridge Pedestrian Improvements	East side of C St. bridge/overhang over lower parking lot segment - Feasibility Study	\$ 360,000	Roads	VC
Roads	FY28	R8-46	FarrWest Rd CIP	VC-FY28 Mill, 6 Mile Canyon Rd	\$ 3,990,764	Roads	VC/6 M
Water/Sewer	FY28	W8-51	Water Treatment Plant Wall	Wall abutting south of water treatment ponds	\$ 360,000	Water	VC
Water/Sewer	FY28	W8-52	Gold Hill Sewer Expansion	Expand current facility x2 to facilitate new residential/commercial construction (Pending W5-51)	\$ 5,000,000	Water	GH
Equipment	FY29	E9-60	Multi-Use Truck	RAM 5500HD plow/dump/sander/crew cab	\$ 250,000	Equip Acqu	PW
Equipment	FY29	E9-61	Excavator	16k lbs.	\$ 175,000	Equip Acqu	PW
Equipment	FY29	E9-62	Street Sweeper		\$ 350,000	Equip Acqu	PW
Equipment	FY29	E9-63	Forklift	For TRI	\$ 50,000	Equip Acqu	PW
Equipment	FY29	E9-64	Snow Cat	EM/SO/FD/PW back country access, snow rescue, citizen snow resources	\$ 60,000	Equip Acqu	PW
Projects	FY29	P5-30	Swimming Pool Rehab	Planning/Design	\$ 1,000,000	Capital/Infrastructure	
Projects	FY29	P6-14	TRI PW Shop	PW equipment barn at Storey County Complex	\$ 3,400,000	Capital	TRI
Projects	FY29	P7-07	Dispatch Center	New facility	\$ 10,000,000	Capital	VC
Projects	FY29	P8-14	Historic Taylor Street Stairs	Recreate stairs from C to B Street Construction	\$ 150,000	Capital	VC
Projects	FY29	P9-01	Piper's Seismic Retrofit		\$ 1,800,000	Capital	VC

Master CIP
FY2025_2030+

Category	Fiscal Year	Project ID	Project Name	Description	Estimated Cost Per/FY	Funding Source	Project Location
Projects	FY29	P9-04	TRI Justice Center	Add Justice complex to Storey County Government Complex	\$ 4,000,000	Capital	TRI
Projects	FY29	P9-05	Parking Garage	Construct Parking Garage Design	\$ 1,000,000	Capital/Infrastructure	VC
Projects	FY29	P9-06	Fairgrounds Restrooms	Construct ADA Restrooms Design	\$ 75,000	Capital	VC
Roads	FY29	R9-40	Cemetery East Access	Culvert and dirt road over drainage at SE corner of cemetery for access per MOU	\$ 100,000	Roads	VC
Roads	FY29	R9-41	Realign Toll Rd at CCI	Realign West end so it matches county property - Work with Community Chest (Pending Hillside/Divide Looping W6-52)	\$ 450,000	Roads	VC
Roads	FY29	R9-42	Sydney Cul-de-sac	Correct cul-de-sac at Sydney Drive to remove GID Building and drainages	\$ 1,000,000	Roads	TRI
Roads	FY29	R9-49	FarrWest Rd CIP	MT - Sam Clemens, Territory	\$ 3,834,828	Roads	MT
Projects	FY30	P0-01	Fourth Ward Generator	Purchase/install	\$ 100,000	Capital	VC
Projects	FY30	P0-02	Gold Hill Depot Generator	Purchase/install	\$ 15,000	Capital	GH
Projects	FY30	P0-03	VC Depot Generator	Purchase/install	\$ 15,000	Capital	VC
Projects	FY30	P0-04	Comptroller Generator	Purchase/install	\$ 100,000	Capital	VC
Projects	FY30	P8-10	Piper's Carriage House	Prep opening for Carriage house doors, rebuild doors	\$ 70,000	Piper's	VC
Projects	FY30	P8-11	Piper's Balcony	Balcony Repairs	\$ 1,000,000	Piper's	VC
Projects	FY30	P9-05	Parking Garage	Construct Parking Garage Construction	\$ 20,000,000	Capital	VC
Projects	FY30	P9-06	Fairgrounds Restrooms	Construct ADA Restrooms Construction	\$ 500,000	Capital	VC
Water/Sewer	FY30	W8-50	5 Mile Reservoir Wall	Wall surrounding 5 mile reservoir	\$ 720,000	Water	VC



Board of Storey County Commissioners Agenda Action Report

**Meeting date: 3/18/2025 10:00 AM -
BOCC Meeting**

Estimate of Time Required: 15 minutes

Agenda Item Type: Discussion/Possible Action

- **Title:** Consideration and possible approval to continue ongoing discussions and research between Storey County and V&T Railway Commission for the potential acquisition of APNs 002-063-22 and 002-063-24 and surrounding vacant properties in Gold Hill, Nevada.
- **Recommended motion:** I, Commissioner _____, move to approve Storey County to continue to work with the V&T Railway Commission to determine if there is interest from other property owners in allowing Storey County the opportunity to purchase adjacent vacant properties, and in obtaining comparative market analysis, surveys, and appraisals as necessary, at a cost not to exceed \$10,000 to satisfy a land conversion issue related to a Land and Water Conservation Fund (LWCF) grant received by the county in 2016, in accordance with CFR 36, Chapter I, Part 39 and the National Park Service Land and Water Conservation Fund utilized to replace park equipment at Miner's Park.
- **Prepared by:** Lisa Maciel

Department: Commissioners

Contact Number: 775-874-0968

- **Staff Summary:** Storey County is currently searching for a suitable property to address a land conversion issue related to a Land and Water Conservation Fund (LWCF) grant received by the county in 2016, in accordance with CFR 36, Chapter I, Part 39 and the National Park Service Land and Water Conservation Fund. This grant was utilized to replace park equipment at Miner's Park. LWCF funds encumber properties in perpetuity to be managed for public outdoor recreation. Consequently, the construction of a Library and Community Center on part of the existing park property in 2017 necessitates this conversion.
-
- On February 26, 2025, Storey County personnel (Lisa Maciel, Sara Sturtz, Kathy Canfield), met with the V&T Railway Commission to initiate a discussion and determine if they would be interested in Storey County acquiring the potential acquisition of parcels 02-063-22 and 02-063-24 (1440 & 1450 Main Street in Gold Hill), currently owned by the Nevada Commission for the Reconstruction of the V&T Railway; the feedback was extremely positive and the commission encouraged further discussion between V&T Railway Commission and Storey County to pursue this venture.
-

- Storey County would like to continue exploring this opportunity with the V&T Railway Commission, with guidance from the Storey County BOCC and the DA office. Request the board’s approval to determine if there is interest from other property owners in allowing Storey County the opportunity to purchase these additional vacant properties. Additionally, to complete due diligence and research in obtaining comparative market analysis, surveys, and appraisals as necessary, at a cost not to exceed \$10,000.

- **Supporting Materials:** See Attachments

- **Fiscal Impact:**

- **Legal review required:** False

- **Reviewed by:**

_____ Department Head

Department Name:

_____ County Manager

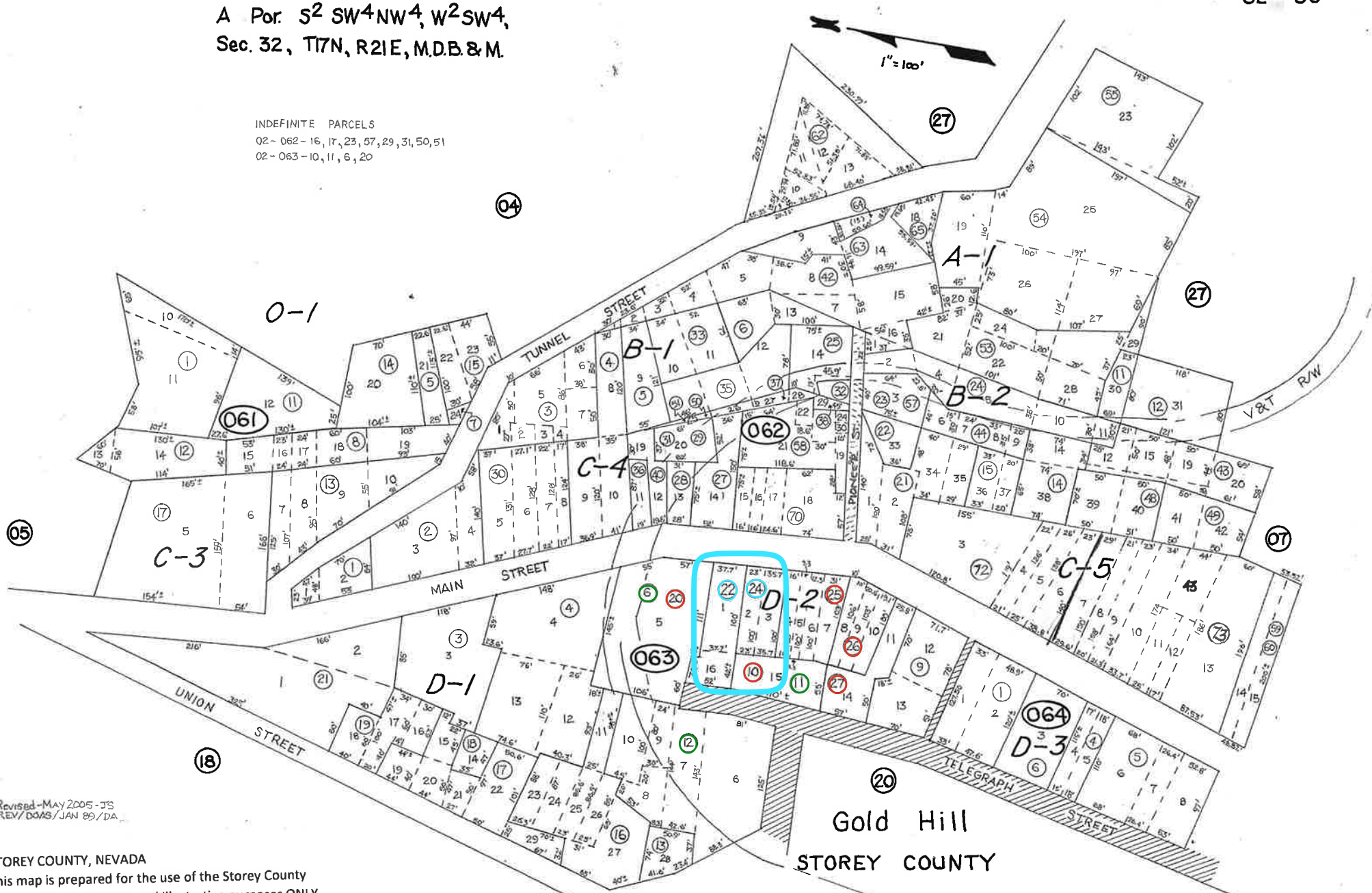
Other Agency Review: _____

- **Board Action:**

<input type="checkbox"/> Approved	<input type="checkbox"/> Approved with Modification
<input type="checkbox"/> Denied	<input type="checkbox"/> Continued

A Por. S² SW⁴ NW⁴, W² SW⁴,
Sec. 32, T17N, R21E, M.D.B. & M.

INDEFINITE PARCELS
02 - 062 - 16, 17, 23, 57, 29, 31, 50, 51
02 - 063 - 10, 11, 8, 20



Revised - May 2005 - J'S
REV/DOAS/JAN 09/DA

STOREY COUNTY, NEVADA
This map is prepared for the use of the Storey County Assessor for assessment and illustrative purposes ONLY. It does not represent a survey. No liability is assumed as to the sufficiency or accuracy of the data delineated herein.

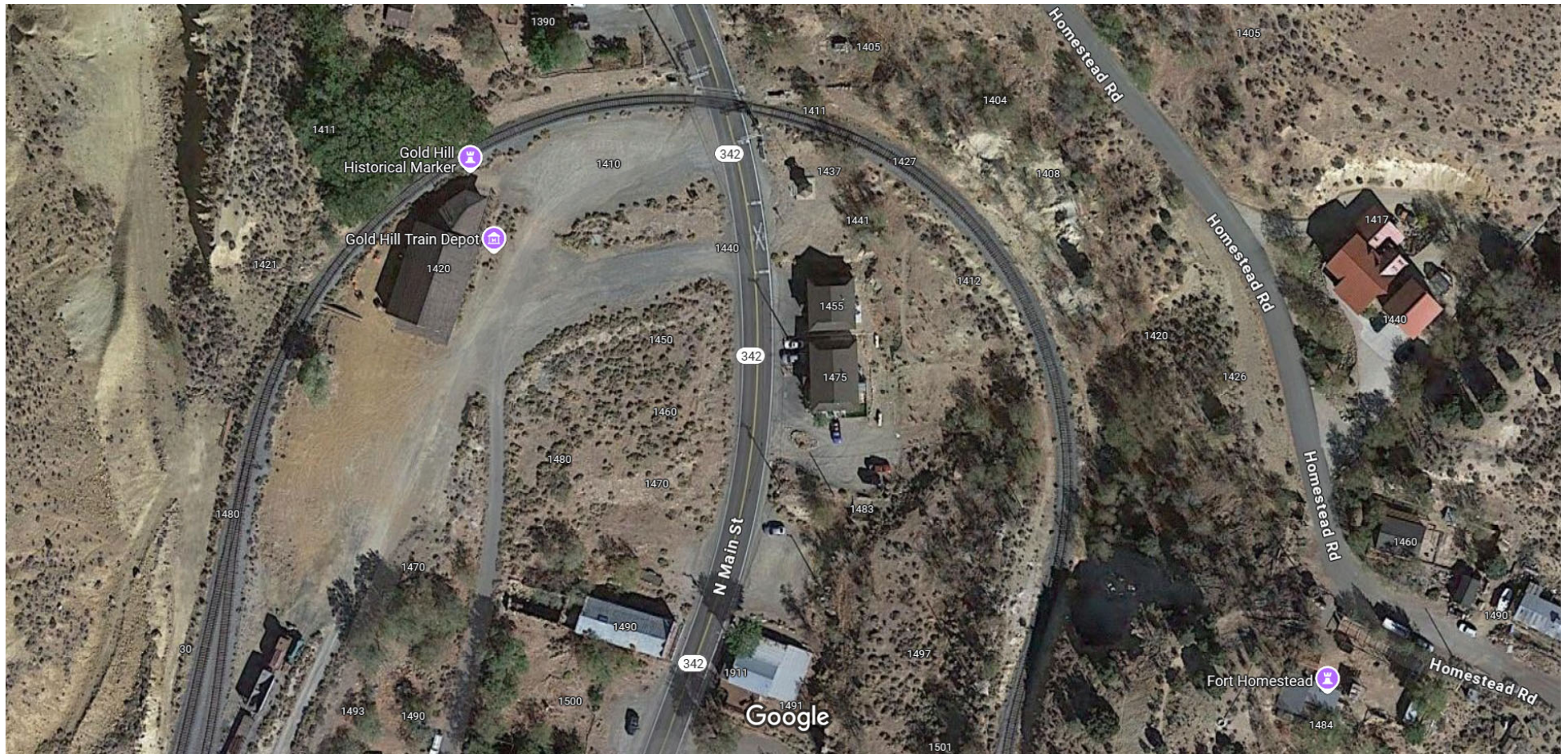
Blue=Nevada Commission for the Reconstruction of the V&T Railway
Green=Surrounding properties owned by V&T Railway/Storey County
Red=Surrounding properties of interest



10/13/2024



Gold Hill, NV



Imagery ©2025 Airbus, Maxar Technologies, Map data ©2025 50 ft

Search Results

Year	Number	Name	Physical Address	Property Type
2025	002-063-04	POWELL, DAVID	1390 MAIN ST GOLD HILL	Parcel
2025	002-063-06	VIRGINIA & TRUCKEE RR INC,	1410 MAIN ST GOLD HILL	Parcel
2025	002-063-09	KUFFNER, CARMEN	1490 MAIN ST GOLD HILL	Parcel
2025	002-063-10	SUTRO TUNNEL CO,	1449 S TELEGRAPH ST GOLD HILL	Parcel
2025	002-063-11	VIRGINIA & TRUCKEE RR INC,	1449 S TELEGRAPH ST GOLD HILL	Parcel
2025	002-063-12	STOREY COUNTY,	1420 MAIN ST GOLD HILL	Parcel
2025	002-063-13	SUTRO TUNNEL CO,	1421 S UNION ST GOLD HILL	Parcel
2025	002-063-16	SUTRO TUNNEL CO,	1411 S UNION ST GOLD HILL	Parcel
2025	002-063-17	SUTRO TUNNEL CO,	1379 S UNION ST GOLD HILL	Parcel
2025	002-063-18	SUTRO TUNNEL CO,	1357 S UNION ST GOLD HILL	Parcel
2025	002-063-19	SUTRO TUNNEL CO,	1341 S UNION ST GOLD HILL	Parcel
2025	002-063-20	COMSTOCK GLORY HOLE SERIES LLC,	1410 MAIN ST GOLD HILL	Parcel
2025	002-063-21	SUTRO TUNNEL CO,	1320 MAIN ST GOLD HILL	Parcel
2025	002-063-22	NEVADA COMM RECONSTR V&T RAILWY,	1440 MAIN ST GOLD HILL	Parcel
2025	002-063-24	NEVADA COMM RECONSTR V&T RAILWY,	1450 MAIN ST GOLD HILL	Parcel

Showing 1 to 15 of 15 entries

Previous Next

[Export Search Results to CSV](#)

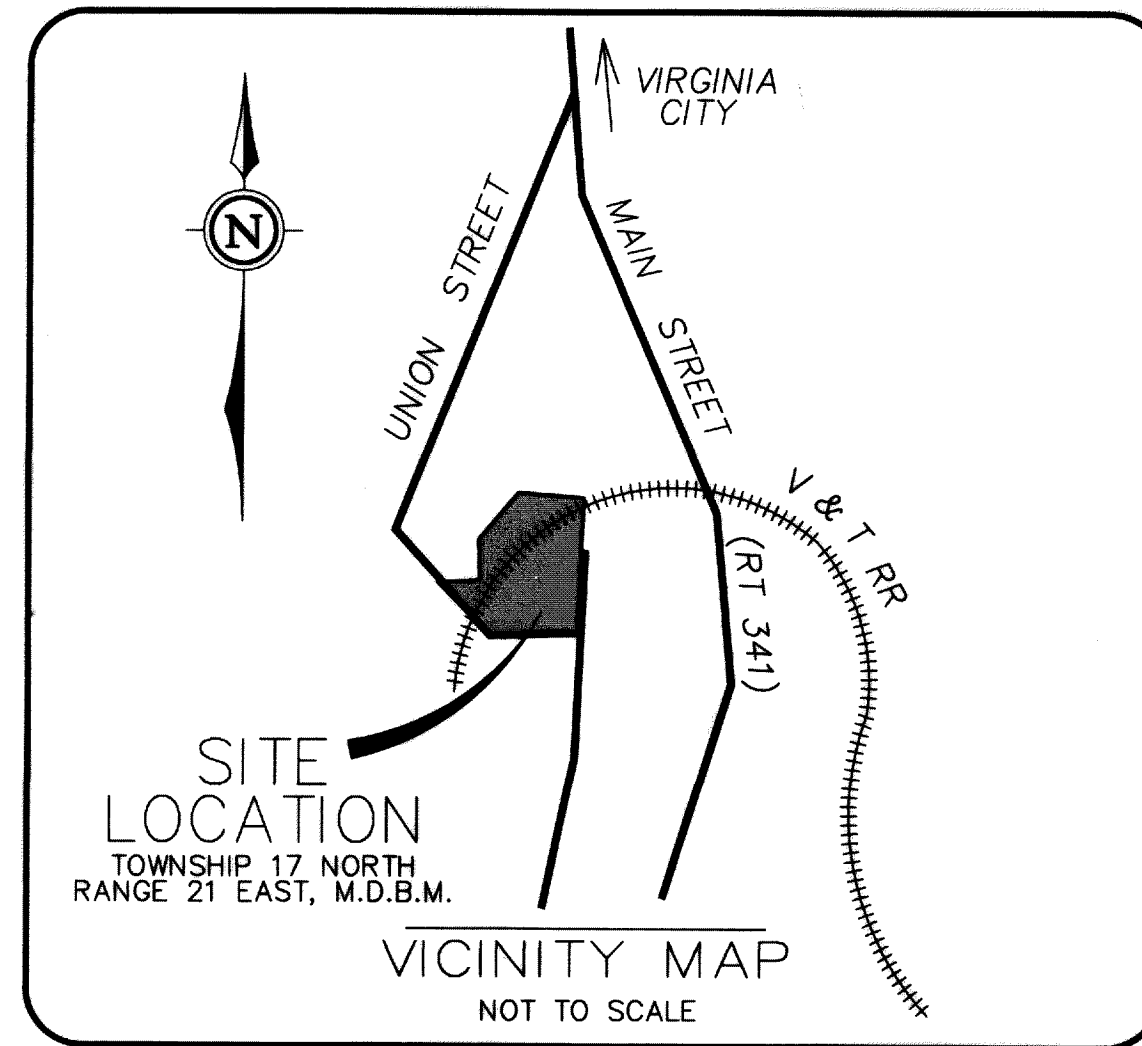
Disclaimer

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For questions about property assessment information please contact 775-847-0961

RECORD OF SURVEY
OF
V & T DEPOT
PREPARED FOR
STOREY COUNTY
(A POLITICAL SUBDIVISION OF THE STATE OF NEVADA)
GOLD HILL, STOREY COUNTY, NEVADA

BASIS OF BEARINGS:
NEVADA DEPARTMENT OF TRANSPORTATION (NDOT) LOCATION PROJECT NUMBER 1046 (LPN 1046), BASED UPON THE NORTH AMERICAN DATUM 1983/1994 (NAD 83/94) NEVADA STATE PLANE COORDINATE SYSTEM, ZONE WEST. THE GRID BEARING BETWEEN THE NDOT CONTROL POINTS DESIGNATED "RIVER X" TO "8 B X" BEING NORTH 08°20'42" WEST. THE PROJECT COMBINED GROUND TO GRID FACTOR USED FOR THIS SURVEY IS 1.000253.



LEGAL DESCRIPTION:

ALL THAT CERTAIN PARCEL OF LAND LYING WITHIN THE SOUTHWEST ONE QUARTER OF SECTION 32, TOWNSHIP 17 NORTH, RANGE 21 EAST, M.D.B. & M., GOLD HILL, COUNTY OF STOREY, NEVADA, SAID PARCEL BEING LOTS 6 THROUGH 10, INCLUSIVE IN BLOCK 1, RANGE "D", AS SHOWN ON THE OFFICIAL MAP OF GOLD HILL, NEVADA, FILED ON 1884 IN THE OFFICE OF THE COUNTY RECORDER OF STOREY COUNTY, STATE OF NEVADA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT A FOUND GLO BRASS CAP AT THE SECTION CORNER COMMON TO SECTIONS 5/6/31/32, TOWNSHIP 17, RANGE 21 EAST, M.D.B. & M.;

THENCE DEPARTING SAID SECTION CORNER, NORTH 07° 28' 28" EAST A DISTANCE OF 2055.34 FEET TO THE INTERSECTION OF THE NORTHERLY RIGHT-OF-WAY OF YELLOW JACKET AVENUE AND THE EASTERLY RIGHT-OF-WAY OF UNION STREET, ALSO BEING THE SOUTHWESTERLY CORNER OF LOT 6 AS SHOWN ON SAID MAP FOUND IN THE BELOW REFERENCES, NO.1, TO SUPPORT THIS MAP, BEING THE OFFICIAL MAP OF GOLD HILL, AND BEING THE POINT OF BEGINNING;

THENCE DEPARTING SAID CORNER AND ALONG SAID EASTERLY RIGHT-OF-WAY, NORTH 33° 00' 02" WEST, A DISTANCE OF 90.74 FEET TO THE NORTHWESTERLY CORNER OF SAID LOT 6;

THENCE, DEPARTING SAID RIGHT-OF-WAY AND SAID CORNER, ALONG THE NORTHERLY LINE OF SAID LOT 6, NORTH 85° 59' 43" EAST, A DISTANCE OF 37.00 FEET TO THE SOUTHWESTERLY CORNER OF LOT 7 AS SHOWN ON SAID MAP;

THENCE DEPARTING SAID CORNER AND ALONG THE WESTERLY LINE OF SAID LOT 7 AND LOT 8 AS SHOWN ON SAID MAP, NORTH 00° 41' 31" WEST, A DISTANCE OF 56.44 FEET TO A CORNER ALONG THE WESTERLY LINE OF SAID LOT 8 AS SHOWN ON SAID MAP;

THENCE CONTINUING ALONG THE WESTERLY LINE OF SAID LOT 8 THE FOLLOWING THREE (3) COURSES AND DISTANCES:

1. NORTH 89° 18' 29" EAST, A DISTANCE OF 3.62 FEET;
2. NORTH 29° 50' 43" EAST, A DISTANCE OF 53.82 FEET;
3. SOUTH 76° 22' 12" EAST, A DISTANCE OF 20.00 FEET, BEING ALONG THE WESTERLY LINE OF LOT 10;

THENCE DEPARTING SAID LOT 8 AND ALONG SAID WESTERLY LINE OF LOT 10 AS SHOWN ON SAID MAP, NORTH 10° 49' 01" EAST, A DISTANCE OF 22.19 FEET TO THE NORTHWESTERLY CORNER OF SAID LOT 10;

THENCE DEPARTING SAID CORNER AND ALONG THE NORTHERLY LINE OF SAID LOT 10, SOUTH 86° 31' 27" EAST, A DISTANCE OF 94.61 FEET TO THE NORTHEASTERLY CORNER OF SAID LOT 10;

THENCE DEPARTING SAID CORNER AND ALONG THE EASTERLY LINE OF SAID LOT 10, LOT 9 AND LOT 7 AS SHOWN ON SAID MAP, SOUTH 03° 28' 33" WEST, A DISTANCE OF 64.28 FEET TO THE NORTHERLY RIGHT-OF-WAY OF TELEGRAPH STREET;

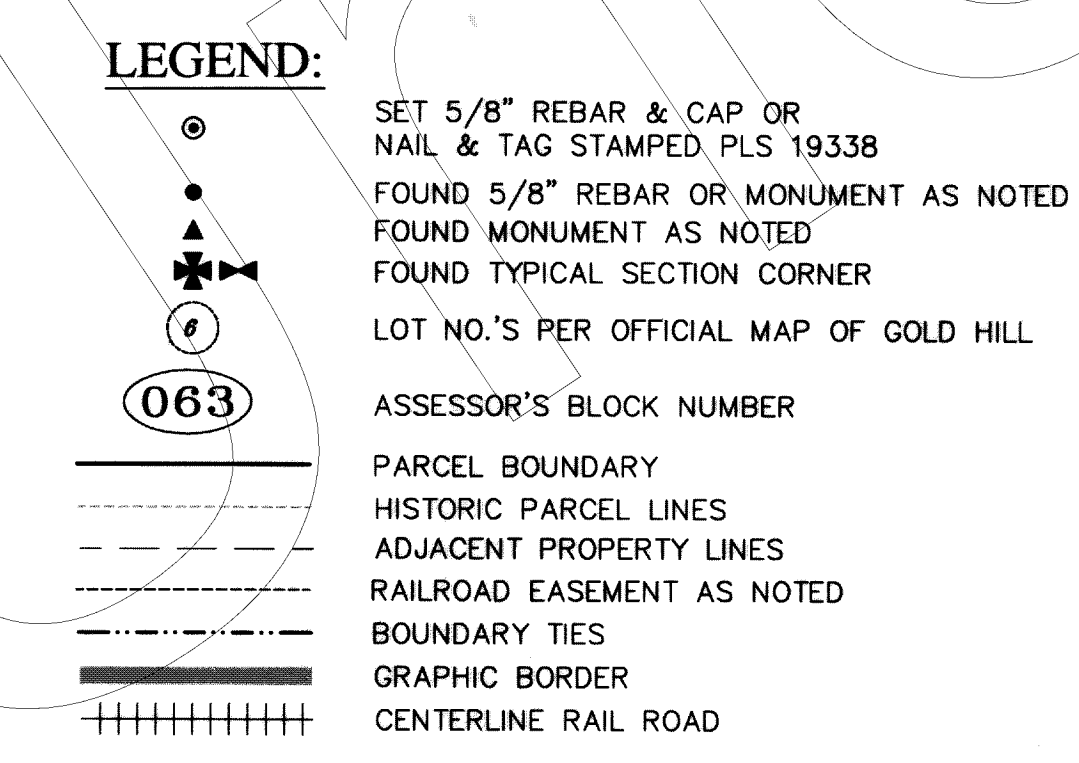
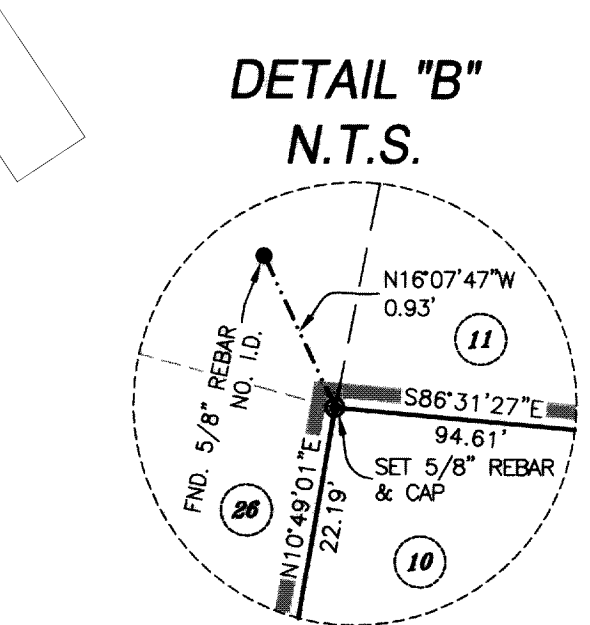
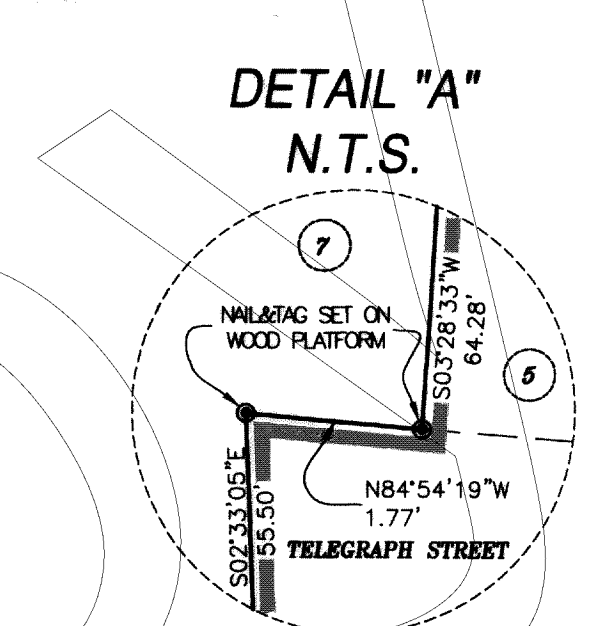
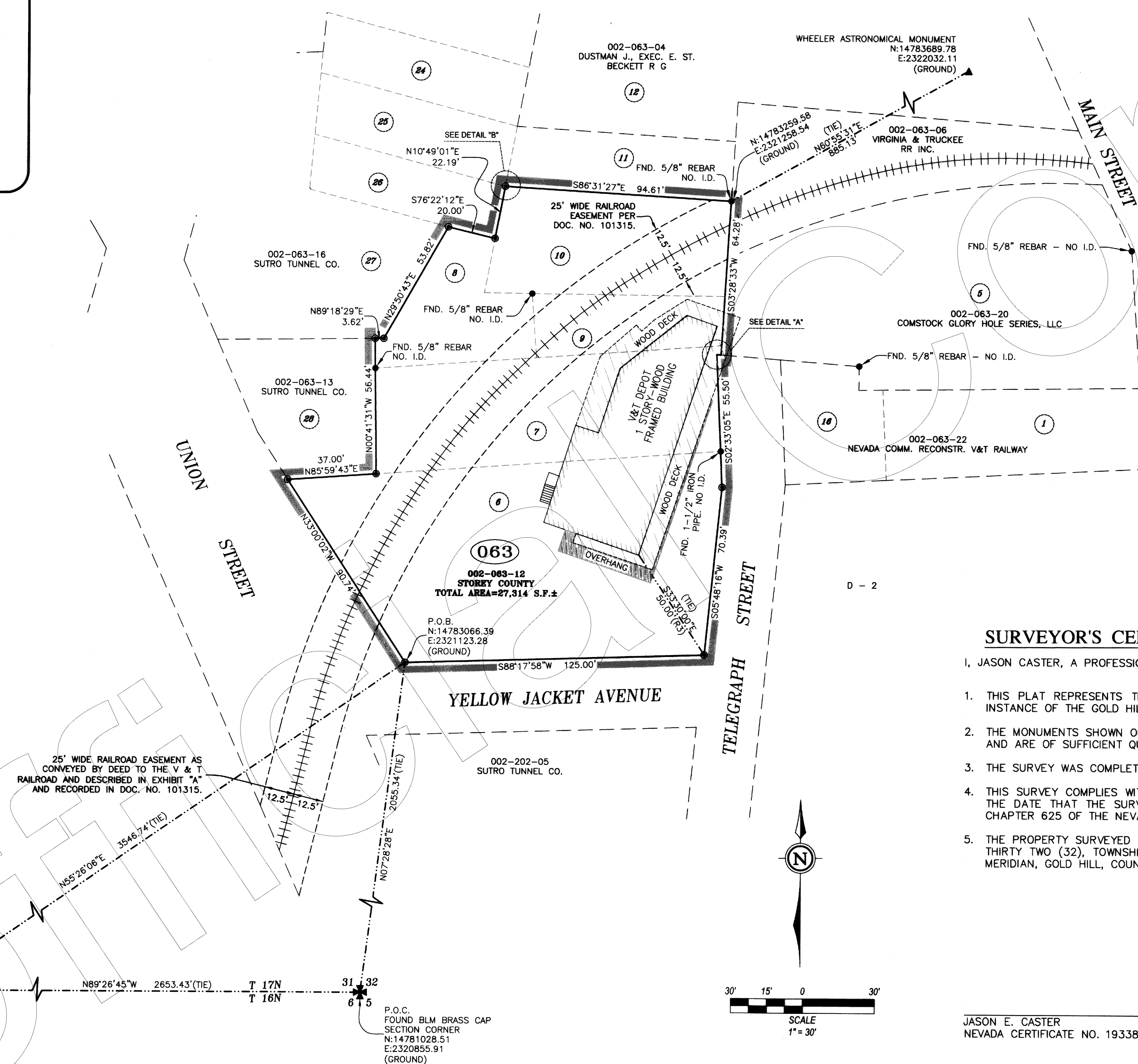
THENCE DEPARTING SAID EASTERLY LINE OF LOT 10, 9 AND 7 AND ALONG SAID NORTHERLY RIGHT-OF-WAY, NORTH 84° 54' 19" WEST, A DISTANCE OF 1.77 FEET TO THE NORTHWESTERLY CORNER OF SAID TELEGRAPH STREET;

THENCE DEPARTING SAID CORNER AND ALONG THE WESTERLY RIGHT-OF-WAY, SOUTH 02° 33' 05" EAST, A DISTANCE OF 55.50 FEET;

THENCE CONTINUING ALONG SAID WESTERLY RIGHT-OF-WAY, SOUTH 05° 48' 16" WEST, A DISTANCE OF 70.39 FEET TO THE INTERSECTION OF SAID WESTERLY RIGHT-OF-WAY OF TELEGRAPH STREET AND THE NORTHERLY RIGHT-OF-WAY OF YELLOW JACKET AVENUE;

THENCE DEPARTING SAID WESTERLY RIGHT-OF-WAY AND ALONG SAID NORTHERLY RIGHT-OF-WAY, SOUTH 88° 17' 58" WEST, A DISTANCE OF 125.00 FEET TO THE POINT OF BEGINNING.

SAID PARCEL CONTAINS 27,314 S.F. OF LAND, MORE OR LESS.



REFERENCES:

1. BEING DESIGNATED AS LOTS 6 THRU 10, INCLUSIVE, BLOCK 1, RANGE "D", AS SHOWN ON THE OFFICIAL MAP OF GOLD HILL, NEVADA, FILED 1884, IN THE OFFICE OF THE COUNTY RECORDER OF STOREY COUNTY, STATE OF NEVADA.
2. GRANT OF EASEMENT, DOCUMENT NO. 101315, FILED JULY 13, 2005 IN THE OFFICE OF THE COUNTY RECORDER OF STOREY COUNTY, STATE OF NEVADA.
3. DEED ENTITLED "ATTACHMENT B, COMMISSION FOR CULTURAL AFFAIRS (CCA-08-17) COVENANTS", DOCUMENT NO. 0120855, FILED AUGUST 25, 2014 IN THE OFFICE OF THE COUNTY RECORDER OF STOREY COUNTY, STATE OF NEVADA.
4. GRANT OF EASEMENT, DOCUMENT NO. 0110839, FILED MARCH 09, 2009 IN THE OFFICE OF THE COUNTY RECORDER OF STOREY COUNTY, STATE OF NEVADA.
5. RECORD OF SURVEY, DOCUMENT NO. 75338, FILED JANUARY 24, 1995 IN THE OFFICE OF THE COUNTY RECORDER OF STOREY COUNTY, STATE OF NEVADA.
6. RECORD OF SURVEY, DOCUMENT NO. 77741, FILED MAY 15, 1996 IN THE OFFICE OF THE COUNTY RECORDER OF STOREY COUNTY, STATE OF NEVADA.
7. TEMPORARY CONSTRUCTION EASEMENT, APN 002-063-12, DOCUMENT NO. 099457, FILED DECEMBER 16, 2004 IN THE OFFICE OF THE COUNTY RECORDER OF STOREY COUNTY, STATE OF NEVADA.

SURVEYOR'S CERTIFICATE:

- I, JASON CASTER, A PROFESSIONAL LAND SURVEYOR LICENSED IN THE STATE OF NEVADA, CERTIFY THAT:
1. THIS PLAT REPRESENTS THE RESULTS OF A FIELD SURVEY CONDUCTED UNDER MY SUPERVISION AT THE INSTANCE OF THE GOLD HILL HISTORICAL SOCIETY.
 2. THE MONUMENTS SHOWN ON THIS PLAT ARE OF THE CHARACTER SHOWN, OCCUPY THE POSITIONS INDICATED, AND ARE OF SUFFICIENT QUANTITY AND DURABILITY.
 3. THE SURVEY WAS COMPLETED ON MARCH 20, 2018.
 4. THIS SURVEY COMPLIES WITH APPLICABLE STATUTES OF THE STATE AND LOCAL ORDINANCES IN EFFECT ON THE DATE THAT THE SURVEY WAS COMPLETED, AND THE SURVEY WAS CONDUCTED IN ACCORDANCE WITH CHAPTER 625 OF THE NEVADA ADMINISTRATIVE CODE.
 5. THE PROPERTY SURVEYED LIES WITHIN A PORTION OF THE SOUTHWEST ONE-QUARTER (SW 1/4) OF SECTION THIRTY TWO (32), TOWNSHIP SEVENTEEN (17) NORTH, RANGE TWENTY ONE (21) EAST, MOUNT DIABLO BASE MERIDIAN, GOLD HILL, COUNTY OF STOREY, STATE OF NEVADA.

JASON E. CASTER
NEVADA CERTIFICATE NO. 19338



4-19-2018

COUNTY RECORDERS CERTIFICATE:

FILE NUMBER 127397
FILED FOR RECORD AT THE REQUEST OF
Farr West Engineering
ON THIS 19th DAY OF April
2018 AT 45 MIN PAST 3O'CLOCK P.M.
OFFICIAL RECORDS OF STOREY COUNTY,
NEVADA.
Jen Chapman
COUNTY RECORDER
BY: Roberta Martini
DEPUTY
FEE: 2.00

RECORD OF SURVEY
FOR
V & T DEPOT
STOREY COUNTY, NEVADA
BEING LOTS 6 THRU 10 AS SHOWN ON THE OFFICIAL MAP OF GOLD HILL, NEVADA
SITUATE WITHIN A PORTION OF THE SOUTHWEST 1/4 OF SECTION 32,
TOWNSHIP 17 NORTH, RANGE 21 EAST, M.D.B. & M.

FARR WEST ENGINEERING 5510 LONGLEY LANE
RENO NV, 89511
(775) 851-4788

JOB NO: 1074	DRAWN BY: FAB	DWG NO: 0001
DATE: 04/19/2018	CHK'D BY: JC	SHEET: 1 OF 1



Figure 1: Looking south from 002-063-020

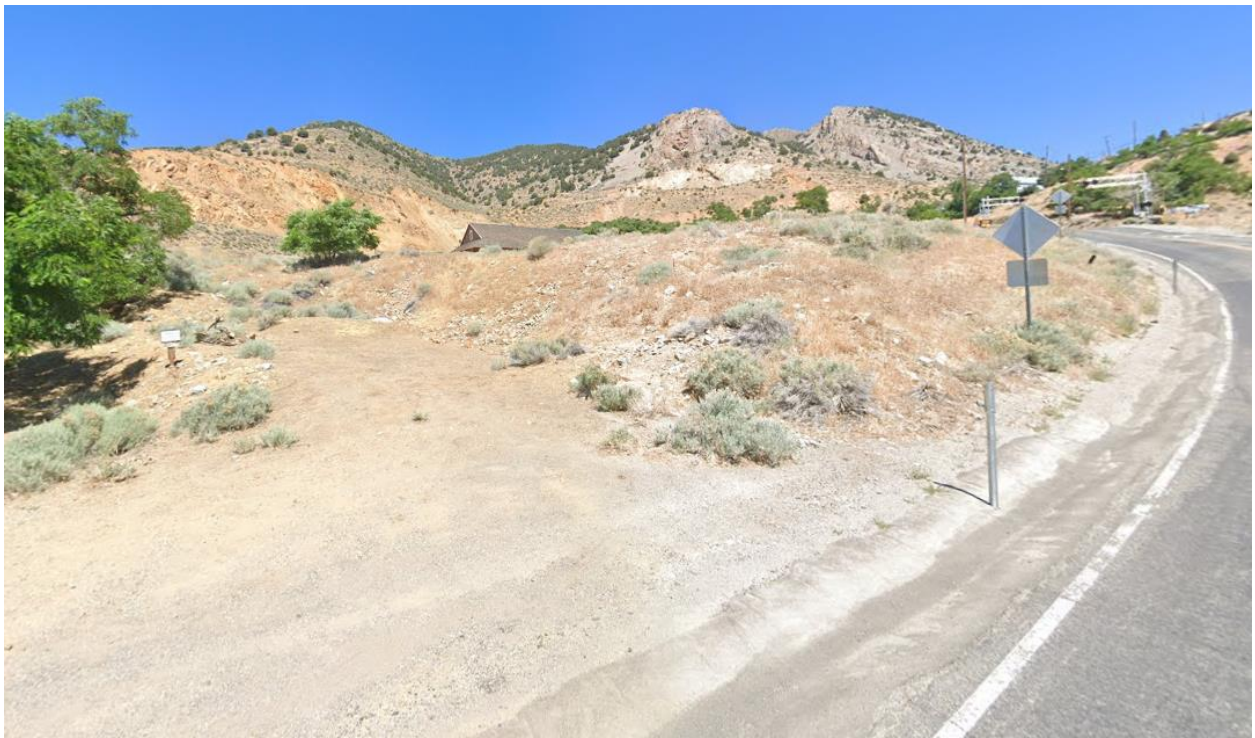


Figure 2: Looking north from 002-063-027

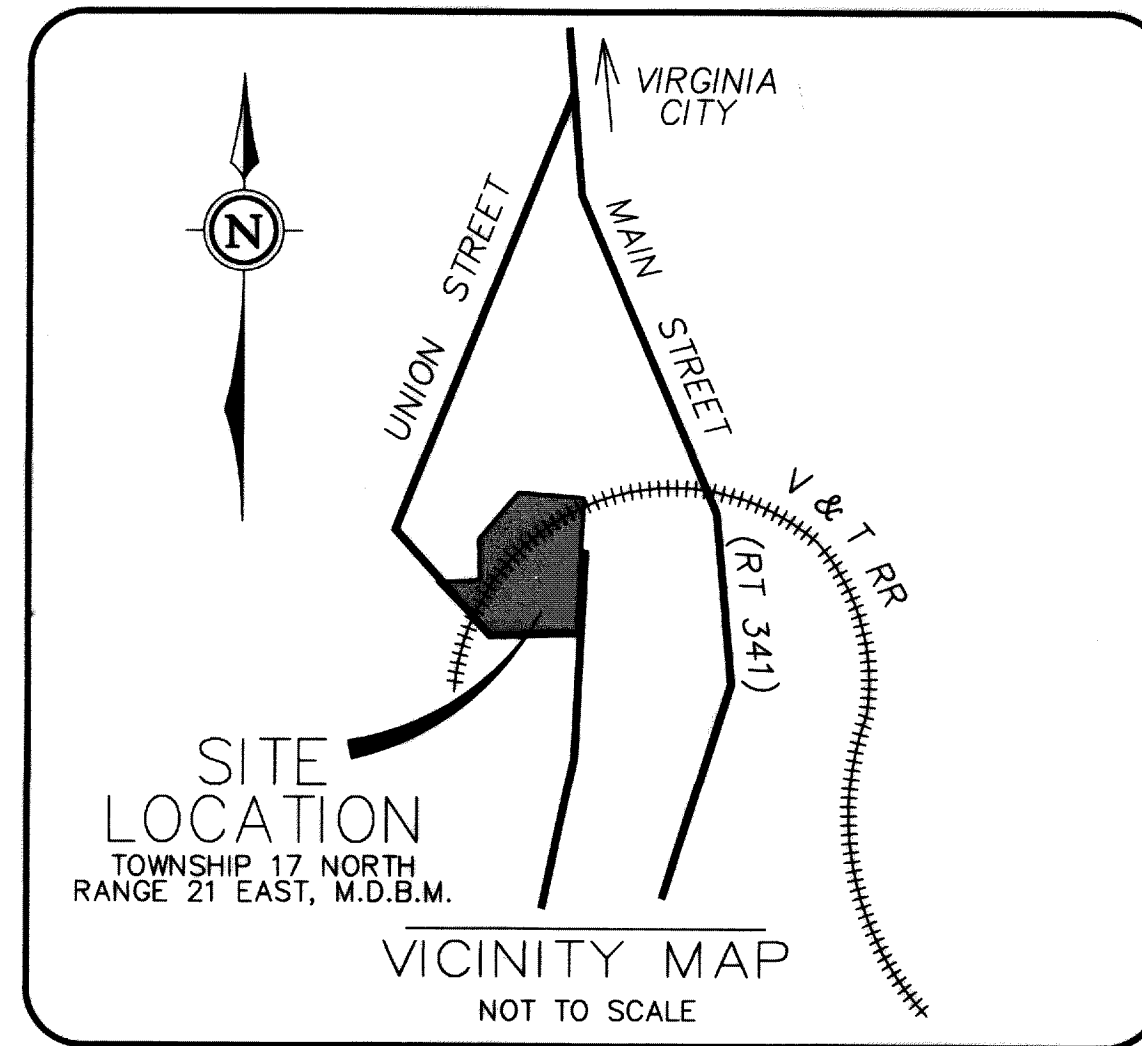
Comparable Vacant Sales
2001-2025

Parcel Number	Document Number	Date of Sale	Zoning Class	Tax District	Land Use Code	Valid Sale	Total Sale Price	Total Acres	Price/Acre	Estimated for V&T Parcels (each) (at that time)
002-082-03	138243	2023-09-11	CR	Gold Hill	100	Y	\$ 20,000	0.090	\$222,222.22	\$28,888.89
002-071-17	136829	2022-09-23	CR	Gold Hill	100	Y	\$ 27,500	0.260	\$105,769.23	\$13,750.00
002-033-08	136352	2022-06-21	CR	Gold Hill / Virginia Divide Sew	120	Y	\$ 40,000	0.225	\$177,777.78	\$23,111.11
002-041-15	134135	2021-06-07	CR	Gold Hill	100	Y	\$ 85,000	0.410	\$207,317.07	\$26,951.22
002-033-05	122040	2015-05-05	CR	Gold Hill	140	Y	\$ 10,000	0.140	\$71,428.57	\$9,285.71
002-052-20	121505	2015-01-14	CR	Gold Hill	140	Y	\$ 25,000	0.280	\$89,285.71	\$11,607.14
002-052-21	108826	2013-06-26	CR	Gold Hill	140	Y	\$ 25,000	0.280	\$89,285.71	\$11,607.14
002-101-12	116333	2012-03-13	CR	Gold Hill	140	Y	\$ 92,500	0.950	\$97,368.42	\$12,657.89
002-052-16	114361	2010-12-30	CR	Gold Hill	140	Y	\$ 7,000	0.070	\$100,000.00	\$13,000.00
002-141-03	113453	2010-07-15	SPR	Gold Hill	100	Y	\$ 11,680	0.910	\$12,835.16	\$1,668.57
002-082-04	104519	2006-08-03	CR	Gold Hill	140	Y	\$ 13,000	0.090	\$144,444.44	\$18,777.78
002-052-16	102818	2005-12-14	CR	Gold Hill	140	Y	\$ 4,600	0.070	\$65,714.29	\$8,542.86
002-062-26	97419	2004-05-18	CR	Gold Hill	140	Y	\$ 33,000	0.230	\$143,478.26	\$18,652.17
002-201-01	96619	2004-02-17	SPR	Gold Hill	120	Y	\$ 18,500	0.410	\$45,121.95	\$5,865.85
002-052-23	90664	2001-12-05	CR	Gold Hill	140	Y	\$ 25,000	0.440	\$56,818.18	\$7,386.36

RECORD OF SURVEY
OF
V & T DEPOT
PREPARED FOR
STOREY COUNTY
(A POLITICAL SUBDIVISION OF THE STATE OF NEVADA)
GOLD HILL, STOREY COUNTY, NEVADA

BASIS OF BEARINGS:

NEVADA DEPARTMENT OF TRANSPORTATION (NDOT) LOCATION PROJECT NUMBER 1046 (LPN 1046), BASED UPON THE NORTH AMERICAN DATUM 1983/1994 (NAD 83/94) NEVADA STATE PLANE COORDINATE SYSTEM, ZONE WEST. THE GRID BEARING BETWEEN THE NDOT CONTROL POINTS DESIGNATED "RIVER X" TO "8 B X" BEING NORTH 08°20'42" WEST. THE PROJECT COMBINED GROUND TO GRID FACTOR USED FOR THIS SURVEY IS 1.000253.



LEGAL DESCRIPTION:

ALL THAT CERTAIN PARCEL OF LAND LYING WITHIN THE SOUTHWEST ONE QUARTER OF SECTION 32, TOWNSHIP 17 NORTH, RANGE 21 EAST, M.D.B. & M., GOLD HILL, COUNTY OF STOREY, NEVADA, SAID PARCEL BEING LOTS 6 THROUGH 10, INCLUSIVE IN BLOCK 1, RANGE "D", AS SHOWN ON THE OFFICIAL MAP OF GOLD HILL, NEVADA, FILED ON 1884 IN THE OFFICE OF THE COUNTY RECORDER OF STOREY COUNTY, STATE OF NEVADA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT A FOUND GLO BRASS CAP AT THE SECTION CORNER COMMON TO SECTIONS 5/6/31/32, TOWNSHIP 17, RANGE 21 EAST, M.D.B. & M.;

THENCE DEPARTING SAID SECTION CORNER, NORTH 07° 28' 28" EAST A DISTANCE OF 2055.34 FEET TO THE INTERSECTION OF THE NORTHERLY RIGHT-OF-WAY OF YELLOW JACKET AVENUE AND THE EASTERLY RIGHT-OF-WAY OF UNION STREET, ALSO BEING THE SOUTHWESTERLY CORNER OF LOT 6 AS SHOWN ON SAID MAP FOUND IN THE BELOW REFERENCES, NO.1, TO SUPPORT THIS MAP, BEING THE OFFICIAL MAP OF GOLD HILL, AND BEING THE POINT OF BEGINNING;

THENCE DEPARTING SAID CORNER AND ALONG SAID EASTERLY RIGHT-OF-WAY, NORTH 33° 00' 02" WEST, A DISTANCE OF 90.74 FEET TO THE NORTHWESTERLY CORNER OF SAID LOT 6;

THENCE, DEPARTING SAID RIGHT-OF-WAY AND SAID CORNER, ALONG THE NORTHERLY LINE OF SAID LOT 6, NORTH 85° 59' 43" EAST, A DISTANCE OF 37.00 FEET TO THE SOUTHWESTERLY CORNER OF LOT 7 AS SHOWN ON SAID MAP;

THENCE DEPARTING SAID CORNER AND ALONG THE WESTERLY LINE OF SAID LOT 7 AND LOT 8 AS SHOWN ON SAID MAP, NORTH 00° 41' 31" WEST, A DISTANCE OF 56.44 FEET TO A CORNER ALONG THE WESTERLY LINE OF SAID LOT 8 AS SHOWN ON SAID MAP;

THENCE CONTINUING ALONG THE WESTERLY LINE OF SAID LOT 8 THE FOLLOWING THREE (3) COURSES AND DISTANCES:

1. NORTH 89° 18' 29" EAST, A DISTANCE OF 3.62 FEET;
2. NORTH 29° 50' 43" EAST, A DISTANCE OF 53.82 FEET;
3. SOUTH 76° 22' 12" EAST, A DISTANCE OF 20.00 FEET, BEING ALONG THE WESTERLY LINE OF LOT 10;

THENCE DEPARTING SAID LOT 8 AND ALONG SAID WESTERLY LINE OF LOT 10 AS SHOWN ON SAID MAP, NORTH 10° 49' 01" EAST, A DISTANCE OF 22.19 FEET TO THE NORTHWESTERLY CORNER OF SAID LOT 10;

THENCE DEPARTING SAID CORNER AND ALONG THE NORTHERLY LINE OF SAID LOT 10, SOUTH 86° 31' 27" EAST, A DISTANCE OF 94.61 FEET TO THE NORTHEASTERLY CORNER OF SAID LOT 10;

THENCE DEPARTING SAID CORNER AND ALONG THE EASTERLY LINE OF SAID LOT 10, LOT 9 AND LOT 7 AS SHOWN ON SAID MAP, SOUTH 03° 28' 33" WEST, A DISTANCE OF 64.28 FEET TO THE NORTHERLY RIGHT-OF-WAY OF TELEGRAPH STREET;

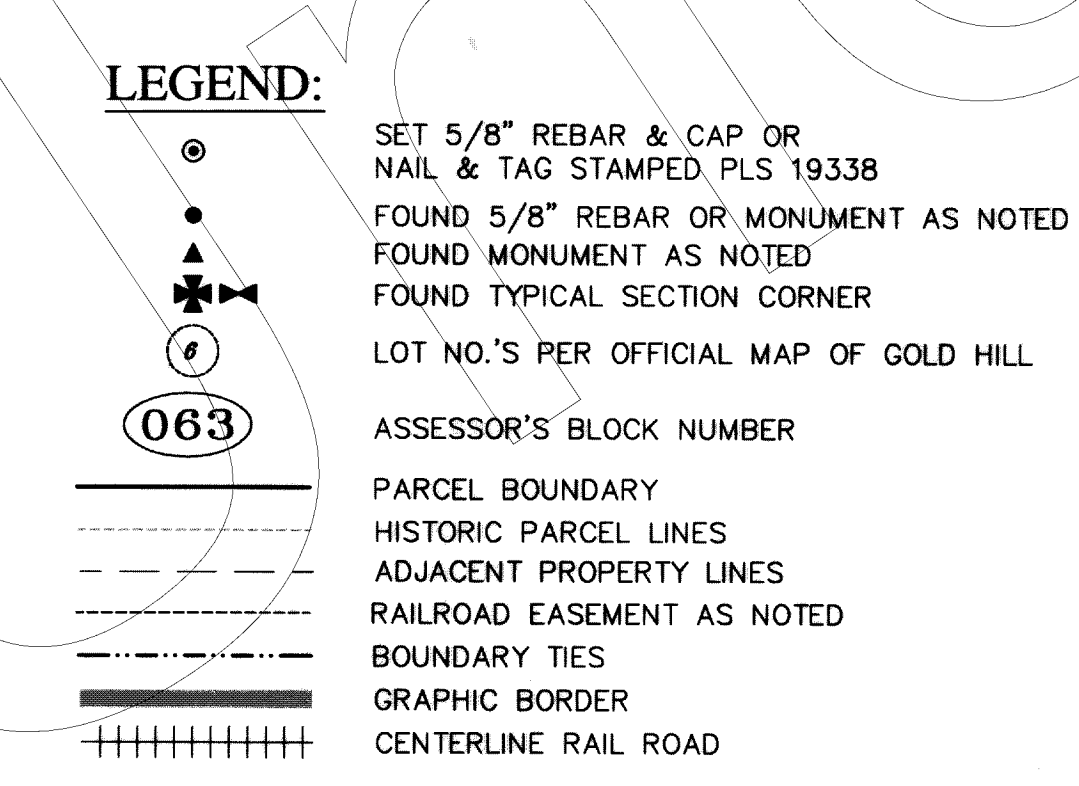
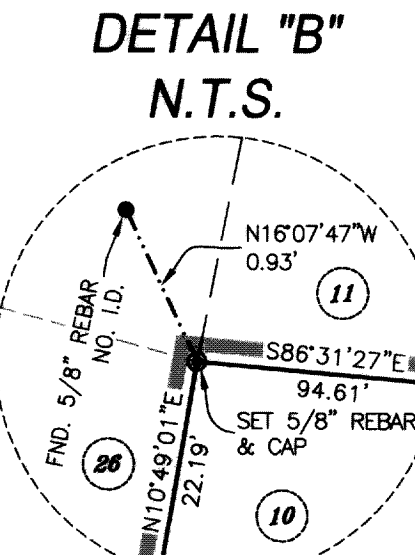
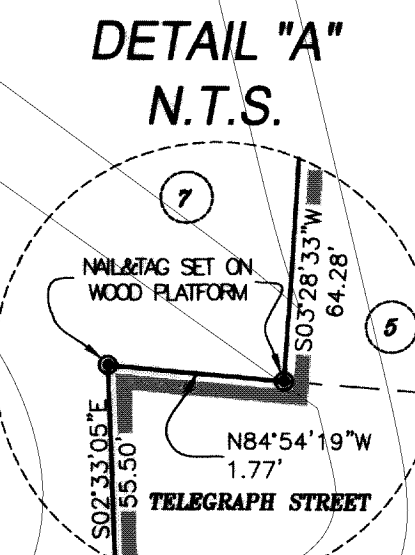
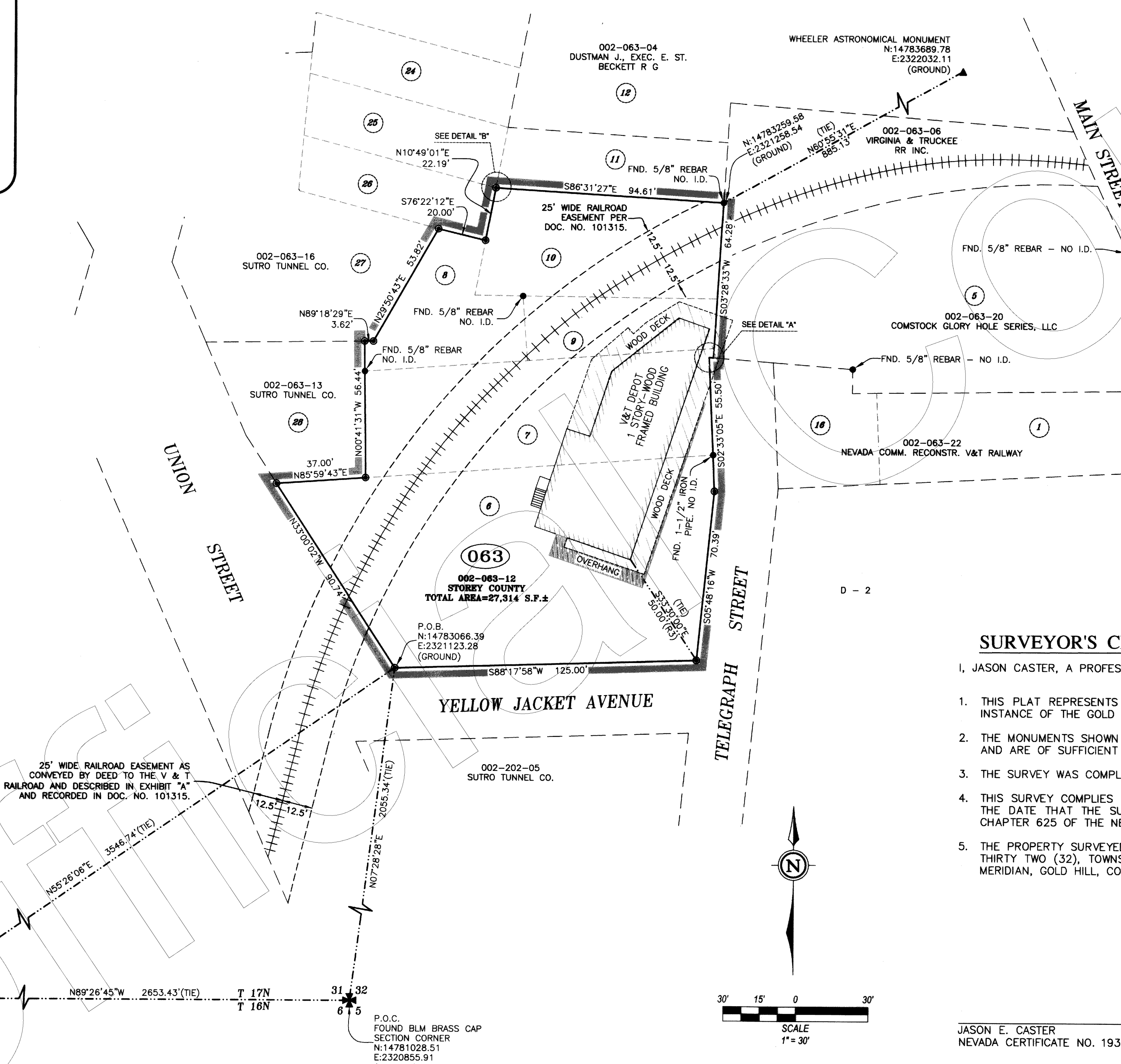
THENCE DEPARTING SAID EASTERLY LINE OF LOT 10, 9 AND 7 AND ALONG SAID NORTHERLY RIGHT-OF-WAY, NORTH 84° 54' 19" WEST, A DISTANCE OF 1.77 FEET TO THE NORTHWESTERLY CORNER OF SAID TELEGRAPH STREET;

THENCE DEPARTING SAID CORNER AND ALONG THE WESTERLY RIGHT-OF-WAY, SOUTH 02° 33' 05" EAST, A DISTANCE OF 55.50 FEET;

THENCE CONTINUING ALONG SAID WESTERLY RIGHT-OF-WAY, SOUTH 05° 48' 16" WEST, A DISTANCE OF 70.39 FEET TO THE INTERSECTION OF SAID WESTERLY RIGHT-OF-WAY OF TELEGRAPH STREET AND THE NORTHERLY RIGHT-OF-WAY OF YELLOW JACKET AVENUE;

THENCE DEPARTING SAID WESTERLY RIGHT-OF-WAY AND ALONG SAID NORTHERLY RIGHT-OF-WAY, SOUTH 88° 17' 58" WEST, A DISTANCE OF 125.00 FEET TO THE POINT OF BEGINNING.

SAID PARCEL CONTAINS 27,314 S.F. OF LAND, MORE OR LESS.



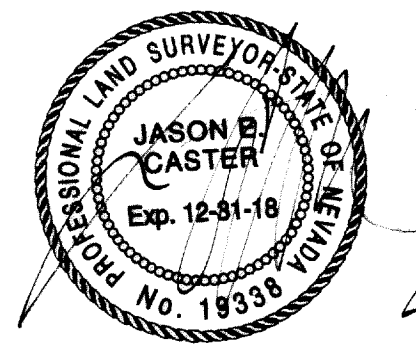
REFERENCES:

1. BEING DESIGNATED AS LOTS 6 THRU 10, INCLUSIVE, BLOCK 1, RANGE "D", AS SHOWN ON THE OFFICIAL MAP OF GOLD HILL, NEVADA, FILED 1884, IN THE OFFICE OF THE COUNTY RECORDER OF STOREY COUNTY, STATE OF NEVADA.
2. GRANT OF EASEMENT, DOCUMENT NO. 101315, FILED JULY 13, 2005 IN THE OFFICE OF THE COUNTY RECORDER OF STOREY COUNTY, STATE OF NEVADA.
3. DEED ENTITLED "ATTACHMENT B, COMMISSION FOR CULTURAL AFFAIRS (CCA-08-17) COVENANTS", DOCUMENT NO. 0120855, FILED AUGUST 25, 2014 IN THE OFFICE OF THE COUNTY RECORDER OF STOREY COUNTY, STATE OF NEVADA.
4. GRANT OF EASEMENT, DOCUMENT NO. 0110839, FILED MARCH 09, 2009 IN THE OFFICE OF THE COUNTY RECORDER OF STOREY COUNTY, STATE OF NEVADA.
5. RECORD OF SURVEY, DOCUMENT NO. 75338, FILED JANUARY 24, 1995 IN THE OFFICE OF THE COUNTY RECORDER OF STOREY COUNTY, STATE OF NEVADA.
6. RECORD OF SURVEY, DOCUMENT NO. 77741, FILED MAY 15, 1996 IN THE OFFICE OF THE COUNTY RECORDER OF STOREY COUNTY, STATE OF NEVADA.
7. TEMPORARY CONSTRUCTION EASEMENT, APN 002-063-12, DOCUMENT NO. 099457, FILED DECEMBER 16, 2004 IN THE OFFICE OF THE COUNTY RECORDER OF STOREY COUNTY, STATE OF NEVADA.

SURVEYOR'S CERTIFICATE:

- I, JASON CASTER, A PROFESSIONAL LAND SURVEYOR LICENSED IN THE STATE OF NEVADA, CERTIFY THAT:
1. THIS PLAT REPRESENTS THE RESULTS OF A FIELD SURVEY CONDUCTED UNDER MY SUPERVISION AT THE INSTANCE OF THE GOLD HILL HISTORICAL SOCIETY.
 2. THE MONUMENTS SHOWN ON THIS PLAT ARE OF THE CHARACTER SHOWN, OCCUPY THE POSITIONS INDICATED, AND ARE OF SUFFICIENT QUANTITY AND DURABILITY.
 3. THE SURVEY WAS COMPLETED ON MARCH 20, 2018.
 4. THIS SURVEY COMPLIES WITH APPLICABLE STATUTES OF THE STATE AND LOCAL ORDINANCES IN EFFECT ON THE DATE THAT THE SURVEY WAS COMPLETED, AND THE SURVEY WAS CONDUCTED IN ACCORDANCE WITH CHAPTER 625 OF THE NEVADA ADMINISTRATIVE CODE.
 5. THE PROPERTY SURVEYED LIES WITHIN A PORTION OF THE SOUTHWEST ONE-QUARTER (SW 1/4) OF SECTION THIRTY TWO (32), TOWNSHIP SEVENTEEN (17) NORTH, RANGE TWENTY ONE (21) EAST, MOUNT DIABLO BASE MERIDIAN, GOLD HILL, COUNTY OF STOREY, STATE OF NEVADA.

JASON E. CASTER
NEVADA CERTIFICATE NO. 19338



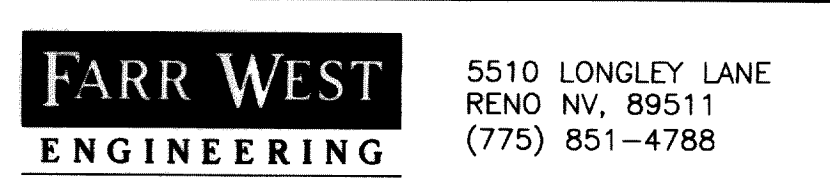
4-19-2018

COUNTY RECORDERS CERTIFICATE:

FILE NUMBER 127397
FILED FOR RECORD AT THE REQUEST OF
Farr West Engineering
ON THIS 19th DAY OF April
2018 AT 45 MIN PAST 3O'CLOCK P.M.
OFFICIAL RECORDS OF STOREY COUNTY,
NEVADA.
Jen Chapman
COUNTY RECORDER
BY: Roberta Martini
DEPUTY
FEE: 2.00

RECORD OF SURVEY
FOR
V & T DEPOT
STOREY COUNTY, NEVADA

BEING LOTS 6 THRU 10 AS SHOWN ON THE OFFICIAL MAP OF GOLD HILL, NEVADA
SITUATE WITHIN A PORTION OF THE SOUTHWEST 1/4 OF SECTION 32,
TOWNSHIP 17 NORTH, RANGE 21 EAST, M.D.B. & M.



JOB NO: 1074	DRAWN BY: FAB	DWG NO: 0001
DATE: 04/19/2018	CHK'D BY: JC	SHEET: 1 OF 1



Board of Storey County Commissioners Agenda Action Report

**Meeting date: 3/18/2025 10:00 AM -
BOCC Meeting**

Estimate of Time Required: 10

Agenda Item Type: Discussion/Possible Action

- **Title:** Consideration and Possible Approval of Special Use Permit 2025-018. The applicant requests a special use permit to allow for greater than four large domestic animals to reside at the Estates zoned property. The applicants propose to have a variety of bovine, swine and goats residing on the property which also includes a single family residence where the applicant lives. The property is approximately 3.69 acres in size and is located at 848 Sutro Springs Road, Mark Twain Estates neighborhood of Storey County, Nevada, Assessor’s Parcel Number (APN) 003-293-32.

- **Recommended motion:** In accordance with the recommendation by the Planning Commission and staff, the Findings under section 3.A of the Staff Report and as read into the record by County staff and in compliance with all Conditions of Approval, I [Commissioner], hereby move to approve a special use permit to allow for greater than four large domestic animals to reside at the Estates zoned property. The applicants propose to have a variety of bovine, swine and goats residing on the property which also includes a single family residence where the applicant lives. The property is approximately 3.69 acres in size and is located at 848 Sutro Springs Road, Mark Twain Estates neighborhood of Storey County, Nevada, Assessor’s Parcel Number (APN) 003-293-32.

- **Prepared by:** Kathy Canfield

Department: Planning

Contact Number: 775-847-1144

- **Staff Summary:** See Staff Report
- **Supporting Materials:** See Attachments
- **Fiscal Impact:**
- **Legal review required:** False
- **Reviewed by:**

_____ Department Head

Department Name:

_____ County Manager

Other Agency Review: _____

- **Board Action:**

<input type="checkbox"/> Approved	<input type="checkbox"/> Approved with Modification
<input type="checkbox"/> Denied	<input type="checkbox"/> Continued

STOREY COUNTY PLANNING DEPARTMENT

Storey County Courthouse
26 South B Street, PO Box 176, Virginia City, NV 89440 Phone (775)
847-1144 – Fax (775) 847-0949
planning@storeycounty.org



To: Storey County Board of County Commissioners

From: Storey County Planning Department

Meeting Date: March 18, 2025

Meeting Location: Storey County Courthouse, 26 South B Street, Virginia City, Storey County, Nevada

Staff Contact: Kathy Canfield

File: 2025-018

Applicants: Justin Temple

Property Owner: Justin Temple

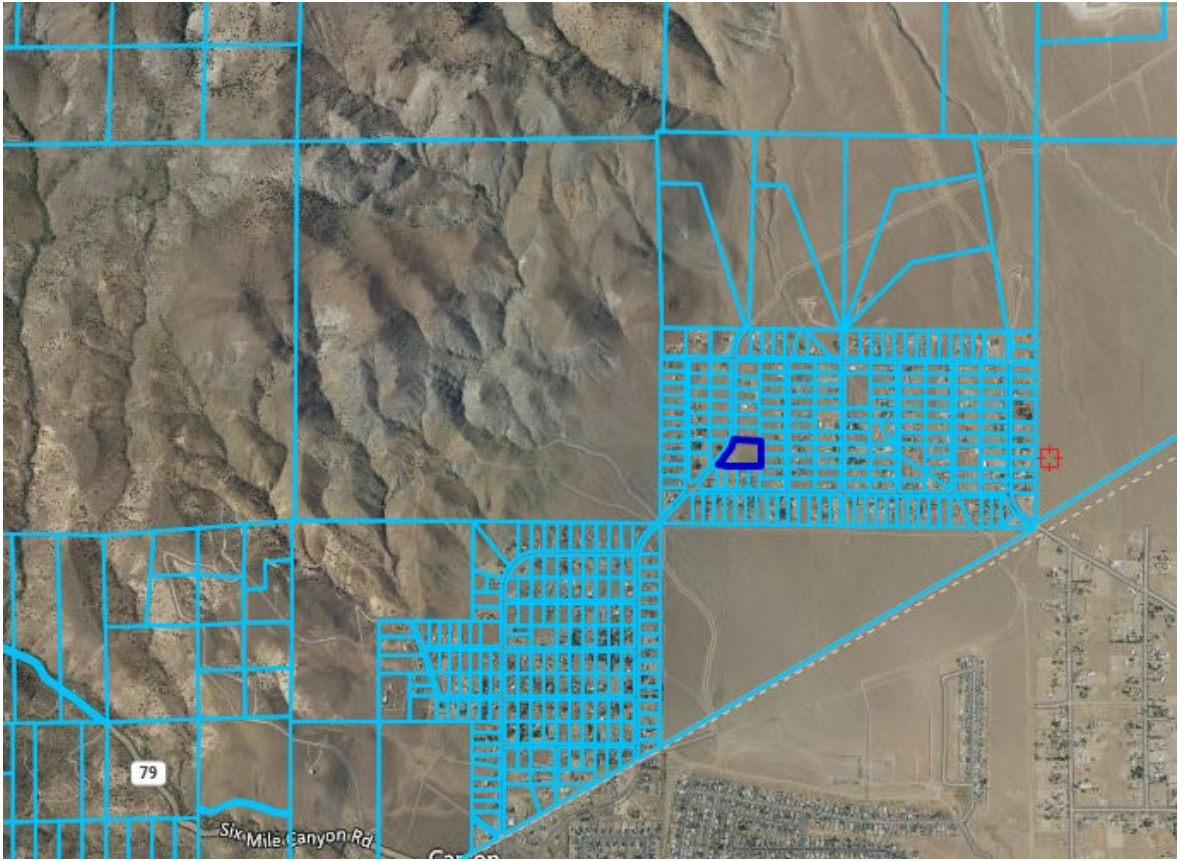
Property Location: 848 Sutro Springs Road, Mark Twain Estates neighborhood of Storey County, Nevada, APN 003-293-32.

Request: The applicants request a special use permit to allow for greater than four large domestic animals to reside at the Estates zoned property. The applicants propose to have a variety of bovine, swine and goats residing on the property which also includes a single family residence where the applicant lives. The property is approximately 3.69 acres in size and is located at 848 Sutro Springs Road, Mark Twain Estates neighborhood of Storey County, Nevada, Assessor's Parcel Number (APN) 003-293-32.

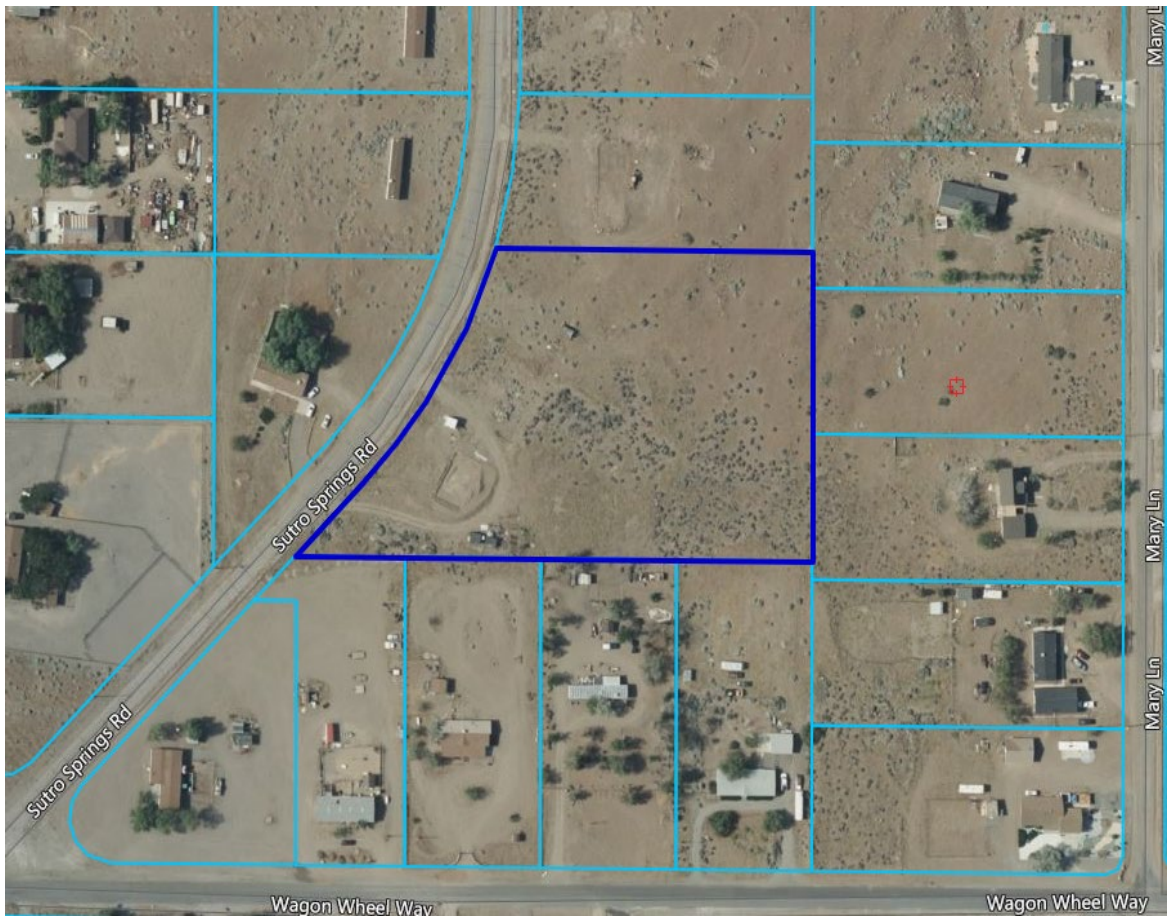
Planning Commission: The Planning Commission heard this request at their March 6, 2025, meeting. There were numerous community members in attendance in both support and opposition to the proposed increase in animals. The Planning Commission considered the concerns raised and modified several conditions of approval including adding a one year review of the special use permit by the Planning Commission, additional language to reinforce fencing for the property, modifying that the total number of the large domestic animals, including baby animals, will not exceed 14 on the site, and that when slaughtering may occur, that any remains be disposed properly so as not to attract other animals to the site or neighborhood. With the proposed modifications, the Planning Commission voted 6-1 to recommend approval of the special use permit. The recommended conditions of approval included with this staff report reflect the modifications.

1. **Background & Analysis**

- A. **Site Location & Background.** The proposed site is located within the Mark Twain Estates subdivision on a parcel of land approximately 3.69 acres in size. The site contains an existing single family residence and is within a one acre minimum residential subdivision. The site previously contained two parcels of land which have been consolidated into one parcel. The size of this parcel is larger than the surrounding residential parcels.



Vicinity Map



Location Map – residence has been constructed on the site since the air photo was taken.



Assessor's Parcel Map

- B. Proposed Project.** The applicant proposes to keep large domestic animals to be utilized onsite as a regenerative food supply for the applicant’s private use. No commercial activity is proposed with the keeping of the animals. The applicant’s initial request proposed to keep between 8 and 18 animals (during birthing season). The animals will be allowed to graze onsite and the grazing areas will be rotated within the 3.69 acre site to minimize impacts.
- C. Animal Keeping.** The Storey County Code distinguishes the keeping of large domestic animals separately from dogs and pot-belly pigs and wild animal keeping. Each zoning district lists if animal keeping is a permissible use and if permissible, the regulations associated with such a use. This property is located within the Estates zoning district which addresses large domestic animals as follows:

17.40.020 Allowed Uses.

The following uses are allowed in the E estates zone:

- A. One single-family detached dwelling of permanent character in a permanent location.
- B. Accessory uses customarily incidental to a permitted use, located on the same lot or parcel with a permitted use, and in compliance with the provisions under section 17.12.048, Accessory uses
- C. Storage parking for recreational vehicles, boats, utility trailers, horse trailers and similar equipment owned by the occupant of the permitted principal use, provided that such items are stored entirely within the private property.
- D. Agricultural and horticultural uses for domestic purposes and incidental to the permitted uses. Use also includes community gardens.
- E. **The keeping of large domestic animals such as sheep, bovine, swine, llamas, horses, goats, and other similar domestic farm animals under the ownership of the resident occupant of the lot, provided that any combination of such animals on any one lot does not exceed the following:**

See section 17.40.030 for minimum lot size requirements.	
E-1	4 or less large domestic animals
E-2.5	4 or less large domestic animals
E-5	6 or less large domestic animals
E-10	8 or less large domestic animals
E-40	16 or less large domestic animals
E-1-VCH	4 or less large domestic animals
E-10-HR	8 or less large domestic animals
E-40-VR	16 or less large domestic animals

- 1 A special use permit is required to exceed the above maximums for large domestic animals.
2. Sanitary conditions must be maintained at all times in order to prevent a nuisance or health hazard from occurring.
3. There must be a minimum of 400 square feet per penned land area per large domestic animal, which must be on less than 10 percent slope grade.

17.40.025 Uses Subject to Special Use Permit.

The following additional uses may be permitted subject to securing a special use permit as provided for in chapter 17.03 Administrative provisions.

- A. The keeping of 5 or more dogs or 3 or more pot-belly pigs more than 12 weeks old, but not a commercial kennel. A minimum of 10 acres is required.
- B. The keeping of large domestic animals exceeding the maximum number allowed pursuant to section 17.40.020.
- C. Wild animal keeping.

The applicant proposes to keep a variety of bovine, goats and swine, which is consistent with the allowed land use definition for the Estates zoning district. The permissible number of animals is identified on a per parcel basis rather than a listed density. The applicant has consolidated two previous parcels of land to create a larger land area for the parcel than previously existed, but by doing such a consolidation, this did not increase the allowable number of animals on the parcel. The Estates zoning chapter doesn't raise the allowable number of animals without a special use permit until the parcel size is a minimum of 5 acres.

The applicant has requested to have between 8 – 18 domestic animals on site. The number range is to reflect the regenerative nature of breeding of the animals for a food supply and the larger number would be associated with having offspring of the mature animals. As identified in the description for the keeping of dogs (see above 17.40.025.A where 12 weeks is referenced), the offspring are not counted in the specific number of allowed animals until the offspring animals are self-sufficient and not dependent on a mother. Although not explicitly stated in the large domestic animal definition, staff proposes to utilize the same rationale and not include baby animals in the animal count until the baby animals are at an age where they are weaned from their mother.

In considering the maximum amount of animals that could be permitted on the site with a special use permit, staff used the existing ratio identified in the chart within the zoning chapter. The Estates 1 acre allows for 4 animals per acre. Utilizing the same ratio for this parcel of land that is 3.69 acres in size (160,736 square feet), the maximum animal count would be 14 large domestic animals.

2. Use Compatibility and Compliance

- A. **Compatibility with surrounding uses and zones.** The following table documents land uses, zoning classification and master plan designations for the land at and surrounding the proposed project. There are no evident conflicts between the proposed project and Storey County Title 17 Zoning or the 2024 Master Plan.

	Land Use	Master Plan	Zoning
Applicant's Land	residential	Rural residential	Estate
Land to the North	vacant	Rural residential	Estate
Land to the East	vacant and residential	Rural residential	Estate
Land to the South	residential	Rural residential	Estate
Land to the West	residential	Rural residential	Estate

- B. **Compliance with the Storey County Code.** The property is located within Estates zoning district and single family residences are an allowed use. The keeping of large

domestic animals is considered an accessory use to the single family dwelling. A special use permit is required to have more than 4 large domestic animals per lot. The Estates zoning chapter also states that sanitary conditions must be maintained at all times and a minimum of 400 square feet of penned area per large domestic animal must be provided and must be on a less than 10% slope. This property in question is relatively flat and at a maximum of 14 mature large domestic animals, a penned space of 5,600 square feet would be needed. The site is approximately 3.69 acres in size (160,736 square feet) and providing this amount of space is not anticipated to be a concern.

C. General use allowances and restrictions. Storey County Code 17.03.150, Special Use Permit, identifies the administration for the Board and Planning Commission for allowing a special use permit. The approval, approval with conditions, or denial of the Special Use Permit must be based on findings of fact that the proposed use is appropriate or inappropriate in the location. The findings listed below are the minimum to be cited in an approval, with rationale for the findings included below each finding.

(1) Complies with the general purpose, goals, objectives, and standards of the county master plan, this title, and any other plan, program, map, or ordinance adopted, or under consideration pursuant to official notice by the county.

The primary use of the site is a single family residence with the proposed accessory use of large domestic animal keeping. The Master Plan identifies the area as Rural Residential and the zoning is Estates. The keeping of large domestic animals is appropriate for the Estates zoning areas and the size of this parcel of land does appear rationale for added number of animals.

(2) The proposal location, size, height, operations, and other significant features will be compatible with and will not cause substantial negative impact on adjacent land uses, or will perform a function or provide a service that is essential to the surrounding land uses, community, and neighborhood.

The special use permit is to allow for additional large domestic animals to reside on the property. The keeping of the animals is accessory to the single family dwelling onsite. The existing parcel of land has consolidated two previous parcels, making the parcel larger than the neighboring residential parcels. The additional size also allows for additional distance from adjacent neighbors. As conditioned, the proposed allowance for additional animals is not expected to cause a negative impact on adjacent residences.

(3) Will result in no substantial or undue adverse effect on adjacent property, the character of the neighborhood, traffic conditions, parking, public improvements, public sites or right-of-way, or other matters affecting the public health, safety, and general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions and policies of the county master plan, this title, and any other plans, program, map or ordinance adopted or under consideration pursuant to an official notice, by the county, or other governmental agency having jurisdiction to guide growth and development.

The proposed large domestic animal keeping is accessory to the existing residence on the property. This Mark Twain Estates subdivision is identified as Rural Residential in the 2024 Storey County Master Plan and the minimum parcel size for

the zoning district is one acre. This property is approximately 3.69 acres in size and is a larger parcel than the surrounding properties. As conditioned and as identified in the Estates zoning chapter, sanitary conditions must be maintained at all times to prevent nuisances and health hazards. The larger parcel size also allows for greater distance for the animals from the adjacent residences. The proposed use, with the recommended conditions of approval, is not expected to negatively impact the surrounding residential neighborhood.

- (4) **The proposed use in the proposed area will be adequately served by and will impose no undue burden on any of the improvements, facilities, utilities, or services provided by the county or other governmental agency having jurisdiction in the county.**

The proposed keeping of large domestic animals is not expected to require any additional governmental services or impact existing facilities.

D. Compliance with 2024 Storey County Master.

The Master Plan has identified this area as Rural Residential. Preservation of the rural character and lifestyle of this area is important to the residents. Chapter 3, Land Use, of the Storey County Master Plan identifies that land use decisions for the area should be made to maintain the character of the community and prevent encroachment of suburban residential sprawl into the neighborhood. The proposed animal keeping is consistent with these goals for the area.

3. Findings of Fact

The Storey County Planning Commission shall cite Findings in a recommended motion for approval, approval with conditions, or denial. The recommended approval, approval with conditions or denial of the requested Special Use Permit must be based on Findings. The Findings listed in the following subsections are the minimum to be cited. The Planning Commission may include additional Findings in their decision.

- A. Motion for Approval.** The following Findings of Fact are the minimum to be cited for a recommendation of approval or approval with conditions. The following Findings are evident with regard to the requested Special Use Permit when the recommended conditions in Section 4 are applied. At a minimum, an approval or conditional approval must be based on the following Findings:

- (1) This approval is to allow for greater than four large domestic animals to reside at the Estates zoned property. The applicants propose to have a variety of bovine, swine and goats residing on the property which also includes a single family residence where the applicant lives. The property is approximately 3.69 acres in size and is located at 848 Sutro Springs Road, Mark Twain Estates neighborhood of Storey County, Nevada, Assessor's Parcel Number (APN) 003-293-32.
- (2) The proposed project complies with the general purpose, goals, objectives, and standards of the county master plan, this title, and any other plan, program, map, or ordinance adopted, or under consideration pursuant to official notice by the county.
- (3) The proposal location, size, height, operations, and other significant features will be compatible with and will not cause substantial negative impact on adjacent land

uses or will perform a function or provide a service that is essential to the surrounding land uses, community, and neighborhood.

- (4) The proposed project will result in no substantial or undue adverse effect on adjacent property, the character of the neighborhood, traffic conditions, parking, public improvements, public sites or right-of-way, or other matters affecting the public health, safety, and general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions and policies of the county master plan, this title, and any other plans, program, map or ordinance adopted or under consideration pursuant to an official notice, by the county, or other governmental agency having jurisdiction to guide growth and development.
- (5) The proposed use in the proposed area will be adequately served by and will impose no undue burden on any of the improvements, facilities, utilities, or services provided by the county or other governmental agency having jurisdiction in the county.
- (6) The Special Use Permit conforms to the 2024 Storey County Master Plan for Mark Twain-Flowery Range Area in which the property is located. A discussion supporting this finding is provided in Section 2.D of this staff report and the contents thereof are cited in an approval of this Special Use Permit.
- (7) The conditions under the Special Use Permit do not conflict with the minimum requirements in Storey County Code Sections 17.03.150 - Special Use Permit, and Section 17.40 – E Estate Zone.

B. **Motion for denial.** Should a motion be made to deny the Special Use Permit request, the following findings with explanation why should be included in that motion.

- (1) This denial is a request for a special use permit to allow for greater than four large domestic animals to reside at the Estates zoned property. The applicants propose to have a variety of bovine, swine and goats residing on the property which also includes a single family residence where the applicant lives. The property is approximately 3.69 acres in size and is located at 848 Sutro Springs Road, Mark Twain Estates neighborhood of Storey County, Nevada, Assessor’s Parcel Number (APN) 003-293-32.
- (2) The conditions under the Special Use Permit conflict with the minimum requirements in Storey County Code Sections 17.03.150 - Special Use Permit and Section 17.40 E Estate Zone.
- (3) The conditions under the Special Use Permit do not adequately mitigate potential adverse impacts on surrounding uses or protect against potential safety hazards for surrounding use.

4. **Recommended Conditions of Approval**

A. **Special Use Permit.** This approval is to allow for greater than four large domestic animals to reside at the Estates zoned property. The applicants propose to have a variety of bovine, swine and goats residing on the property which also includes a single family residence

where the applicant lives. The property is approximately 3.69 acres in size and is located at 848 Sutro Springs Road, Mark Twain Estates neighborhood of Storey County, Nevada, Assessor's Parcel Number (APN) 003-293-32.

- B. Number of Animals.** This permit allows for no greater than 14 (fourteen) large domestic animals to reside on the 3.69 acre site. The large domestic animals include bovine, sheep, swine, llamas, horses and/or goats. Baby animals shall be considered in the overall onsite count.
- C. Compliance.** The Special Use Permit must comply with Storey County Codes, and submitted plans and reports, as approved.
- D. Requirements.** The Permit Holder/Licensee shall apply for any/all required permits and licenses, including building and fire permits, for the project within 24 months from the date of final approval of this Special Use Permit, and continuously maintain the validity of those permits/licenses, or this approval shall be null and void. This permit shall remain valid as long as the Permit Holder remains in compliance with the terms of this permit and Storey County, Nevada State, and federal regulations.
- E. Hold Harmless.** The Property Owners agree to hold Storey County, its Officers and Representatives harmless from the costs and responsibilities associated with any damage or liability, and any/all other claims now existing or which may occur as a result of this Variance.
- F. Site Conditions:** Sanitary conditions must be maintained at all times in order to prevent nuisances and health hazards. Any complaints associated with nuisances or sanitary conditions not immediately addressed will be investigated by Storey County staff and may cause review and consideration of revocation of the Special Use Permit by the Storey County Planning Commission and Board of County Commissioners.
- G. Areas for animals:** Based on the allowance of no greater than 14 large domestic animals on the site, the applicant shall provide an area of no less than 5,600 square feet to meet the minimum requirement of 400 square feet of area per animal as required in Section 17.40.020 of the Storey County Zoning Ordinance.
- H. No Commercial Activity.** This Special Use Permit does not address any commercial activity on the property. If commercial activity is proposed at a future date, the activity will be reviewed in accordance with regulations in place at that time.
- I. Annual Review.** At a regularly scheduled public meeting on or about the month of April 2026, the Planning Commission, with coordination from the Permit Holder, shall review the operations at the property and determine any significant impacts the proposed operation has on the adjacent neighborhood. At that time, if any negative impacts, as determined by the Planning Commission, are identified and brought to the attention of the Planning Commission or County staff, additional mitigating conditions may be added to the Special Use Permit by the Board with action/recommendation by the Planning Commission. If no additional mitigation measures are imposed, no Board of County Commissioners review shall be required. At the Annual Review, the Planning Commission shall determine if further annual reviews are required.

- J. **Slaughtering.** If or when slaughtering occurs onsite, the remains shall be disposed in such a way to not attract other animals to the site that may create a nuisance to the surrounding neighborhood.
- K. **Fencing:** All fencing shall be of a substantial nature to maintain the animals onsite and not negatively impact adjacent neighboring properties.

5. Public Comment

As of March 6, 2025, staff have received three emailed letters of support and one email with concerns from neighboring property owners. An additional letter of opposition was presented to the Planning Commission at the March 6, 2025 meeting. Copies of the emails and letter are attached to this staff report.

6. Power of the Board

At the conclusion of the hearing, the Board of County Commissioners must take such action thereon as it deems warranted under the circumstances and announce and record its action by formal resolution, and such resolution must recite the findings of the Board of County Commissioners upon which it bases its decision.

7. Proposed Motions

This Section contains two motions from which to choose. The motion for approval is recommended by Staff in accordance with the findings under Section 3.A of this report. Those findings should be made part of that motion. A motion for denial may be made and that motion should cite one or more of the findings shown in Section 3.B. Other findings of fact determined appropriate by the Planning Commission should be made part of either motion.

A. Recommended Motion (motion for approval)

In accordance with the recommendation by the Planning Commission and staff, the Findings under section 3.A of the Staff Report and as read into the record by County staff and in compliance with all Conditions of Approval, I [*Commissioner*], hereby move to approve a special use permit to allow for greater than four large domestic animals to reside at the Estates zoned property. The applicants propose to have a variety of bovine, swine and goats residing on the property which also includes a single family residence where the applicant lives. The property is approximately 3.69 acres in size and is located at 848 Sutro Springs Road, Mark Twain Estates neighborhood of Storey County, Nevada, Assessor's Parcel Number (APN) 003-293-32.

B. Alternative Motion (motion for denial)

In accordance with the Findings under section 3.B of this report and other Findings against the recommendation for approval with conditions by the Planning Commission and Staff, I [*Commissioner*], hereby move to deny a special use permit to allow for greater than four large domestic animals to reside at the Estates zoned property. The applicants propose to have a variety of bovine, swine and goats residing on the property which also includes a single family residence where the applicant lives. The property is approximately 3.69 acres in size and is located at 848 Sutro Springs Road, Mark Twain Estates neighborhood of Storey County, Nevada, Assessor's Parcel Number (APN) 003-293-32.

Lyndi Renaud

From: Kathy Canfield
Sent: Monday, February 10, 2025 10:29 AM
To: Lyndi Renaud
Subject: FW: Special Use Permit for Justin Temple

From: Sandy Harrison <sandyharrison1018@yahoo.com>
Sent: Monday, February 10, 2025 10:12 AM
To: Kathy Canfield <kcanfield@storeycounty.org>
Subject: Special Use Permit for Justin Temple

Dear Planning Commission

I am writing to request a special use permit for regenerative farming proposed at 848 Sutro Springs Road.

Here are several reasons why granting this permit would not only benefit their farming endeavors but also contribute positively to the environment:

Environmental Restoration: Regenerative farming focuses on rebuilding soil health, increasing biodiversity, and restoring ecosystems. By implementing these practices, they will contribute to improved air quality and promote habitat restoration. Already a rural area with a great deal of rocky ground; given the ability to create healthy soil in itself is an asset.

Sustainable Practice: Unlike conventional farming, regenerative agriculture emphasizes sustainability. By rotating crops and raising large animals in different stages of age will create a more resilient farming system allowing consistent food and nourishment.

Aligning with Policy Goals: Many regional and national policies promote sustainable agricultural practices to combat climate change. Granting this permit would align with these goals and showcase commitment to progressive environmental stewardship.

Water Conservation: Improved soil health increases water retention, reducing the need for irrigation and minimizing water runoff, which protects local waterways from pollution.

Reduced Chemical Dependency: Regenerative farming reduces reliance on synthetic fertilizers and pesticides, promoting a healthier ecosystem and safer food production. Thus, keeping our well water safe.

Overall, regenerative farming provides a holistic approach to agriculture that promotes environmental health as well as better food for the family.

I am hopeful that you will consider the positive impacts regenerative farming can have. As a neighbor in a rural area, multiple farm animals are never a nuisance, but an expected advantage. Thank you for your consideration.

Sincerely,
Sandy Harrison
912 Sutro Springs Rd
Dayton, Nv 89403

For you, brethren, have been called to liberty; only do not use liberty as an opportunity for the flesh, but through love serve one another.
Gal 5:13

Lyndi Renaud

From: Scott, Rachael <Rachael.Scott@ClaytonHomes.com>
Sent: Monday, February 10, 2025 10:09 AM
To: Lyndi Renaud
Subject: Special Permit Request ~ 848 Sutro Springs Rd

Good Morning,

I am sending this email in support to Justin Temple's (my next-door neighbor) request for a special use permit.
I have known Justin for 20 years and he's has always produced food and livestock on a small scale. I am looking forward to having his request approved.

Let me know if you have any questions or concerns.

Thank You,

Rachael Scott
Administrative Assistant~HC890
10020 Hwy 50 East ~ Carson City NV 89706
(Office) 775-246-4500
(Fax) 775-246-4971
Email Rachael.scott@claytonhomes.com



Open doors. Be a home. Drive change. Do good. Earn trust.

CONFIDENTIALITY NOTICE

This message and the accompanying documents contain information that belongs to the sender and may contain information that is privileged, confidential, or exempt from disclosure under applicable law. If the reader of this e-mail is not the intended recipient, you are hereby notified that you are strictly prohibited from reading, disseminating, distributing, copying, or taking action in reliance on the content of this communication. If you have received this e-mail in error, please notify the sender immediately and destroy the original transmission.

Lyndi Renaud

From: colleen lepak <lepak777@yahoo.com>
Sent: Wednesday, February 12, 2025 11:41 AM
To: Lyndi Renaud
Subject: Temple farm animals

Good morning,

My husband and I are neighbors to the Justin Temple family. We share or back fence. We have been fortunate to get to know them for the past two years while they built their home.

We moved here 6 years ago because we wanted to live in the country with everything that brings, including animals. We enjoy very much the farm animals they have and they cause no problems and much joy.

Also the Temples are the kind of neighbors that if any issues were to arise in the future considering the animals we would be able to amicably resolve the problem.

Thank you,
Steve and Colleen Lepak

I have property on 865 Sutro Springs Rd. 857 Sutro Springs Rd. and 186 Mary Ln. that will be affected by your decision.

Please deny, don't allow, don't let it happen, a special use permit 2025 – 018 for a pig, bovine, or goat farm cesspool to be located on 848 Sutro Springs Rd., Mark Twain Estates.

Why did i say cesspool? That's what happens when you have farm animals on a 2 1/2 acre lot and not on a real farm. I don't need a bunch of farm animal crap, producing tons of maggots and flies, flying around. Not to mention the smell it will produce.

Talk about smell, have you ever smelled rotting flesh, you have to experience it to believe it, it's out of this world.

And that brings me to my next subject. What is he going to do, build a shed and call it my personal slaughterhouse, how wonderful.

And then what? He will throw all the rotting guts and bones out at the end of his property where they will stink to high heaven.

Of course he will have to build a tanning shed to process the hides for sale, along with the meat he will be selling out front of his property in the new farmers market he will set up.

And that brings us of to the taxes you will need to collect from his sales. Also if you let the permit go through, I want a reduction of my property taxes along with everybody elses around him by 40% to compensate for devaluation of my property and

everyone else around him. And I want the lost tax revenue to the county, added to his property tax bill. So my taxes will not go up due to lost revenue to the county.

And don't forget to call the FDA to make sure his petting zoo animals, I mean farm animals are up to date on all of their vaccinations. So they {us} will not all die of bird flu.

And make sure he gets a business license so he can pay state taxes on all of his sales.

~ PUBLIC NOTICE ~

Discussion/For Possible Action: Special Use Permit 2025-018. The applicant requests a special use permit to allow for greater than four large domestic animals to reside at the Estates zoned property. The applicants propose to have a variety of bovine, swine and goats residing on the property which also includes a single family residence where the applicant lives. The property is approximately 3.69 acres in size and is located at 848 Suro Springs Road, Mark Twain Estates neighborhood of Storey County, Nevada, Assessor's Parcel Number (APN) 003-293-32.

THERE WILL BE DISCUSSION/POSSIBLE ACTION BY

Storey County Planning Commission

Thursday -- March 6, 2025 -- 6:00 p.m. at the Mark Twain Community Center, 500 Sage Clow Ave., Dayton, Nevada, in person only

To request a Staff Report and/or more information please contact the Planning Department at (775) 847-1144 or email planning@storeycounty.org. *Written or Electronic comments must be received no later than the day before the meeting date.*

THERE WILL BE DISCUSSION/POSSIBLE ACTION BY

Storey County Board of County Commissioners

Tuesday -- March 18, 2025 -- 10:00 a.m. at the Storey County Courthouse, District Courtroom 26 South B Street, Virginia City, Nevada, in person only

To request more information please contact the Clerk/Treasurer's Office at (775) 847-1096 or email clerk@storeycounty.org. *Written or Electronic comments must be received no later than Monday at noon before the meeting date.*

Lyndi Renaud

From: d m <dmccombbaker@gmail.com>
Sent: Sunday, March 2, 2025 8:24 PM
To: planning
Subject: 848 Sutro special use permit 2025-018

Good day

I'd like to stay ANONYMOUS because I do share a fence line with this said neighbor, and we already had previous run in's.

I do have many questions I'd like to bring forward ...

- 1.) Flies- we always have had many flies in the summer, how will all these animals impact our already bad fly issue?
- 2.) Mountain Lions- there was a sighting and tracks in the said yard coming for the goats. How will we protect our children and dogs from this new influx of mountain lions coming to our area now?
- 3.) Coyotes- one of the neighbor kids had a little run in with Coyotes while walking on Sutro from the bus after school. How do we protect our kids/dogs?
- 4.) Mice-rats- we seem to have a huge rodent issue now. Is it due to all the stuff/rubbish outside in the yard, or the animals. How will this issue be rectified?
- 5.) The smell- how can you guarantee the smell of animal waste will not increase 10 fold as the temperatures rise in the summer?
- 6.) Will they be slaughtering animals on their property? Is that allowed?
- 7.) Will these animals be "free range" like the chickens and roosters who go into neighbors yards or do they need proper fencing?
- 8.) Who will be checking on the property to make sure a minimum standard is met?

Thank you so much for your time.



Board of Storey County Commissioners Agenda Action Report

Meeting date: 3/18/2025 10:00 AM -
BOCC Meeting

Estimate of Time Required: 5

Agenda Item Type: Discussion/Possible Action

- **Title:** Consideration and possible approval of Special Use Permit 2025-021. The applicant requests a Special Use Permit to construct a freestanding changeable message sign at the Mark Twain Community Center property. The proposed sign is approximately 9-feet wide by 8-feet tall and portion of the sign will contain a changeable message. The property is located at 500 Sam Clemens Avenue, Storey County, Nevada, Assessor’s Parcel Number (APN) 003-273-13.

- **Recommended motion:** In accordance with the recommendation by the Planning Commission and staff, the findings of fact under Section 3.A of this report and read into the record by Storey County staff, and other findings deemed appropriate by the Planning Commission, and in compliance with the discussion items listed under the Planning Commission heading starting on Page 1 of this staff report, and in compliance with the conditions of approval, I (commissioner), move to approve a Special Use Permit to construct a freestanding changeable message sign at the Mark Twain Community Center property. The proposed sign is approximately 9-feet wide by 8-feet tall and portion of the sign will contain a changeable message. The property is located at 500 Sam Clemens Avenue, Storey County, Nevada, Assessor’s Parcel Number (APN) 003-273-13.

- **Prepared by:** Kathy Canfield

Department: Planning

Contact Number: 775-847-1144

- **Staff Summary:** See Staff Report
- **Supporting Materials:** See Attachments

- **Fiscal Impact:**

- **Legal review required:** False

- **Reviewed by:**

_____ Department Head

Department Name:

_____ County Manager

Other Agency Review: _____

- **Board Action:**

<input type="checkbox"/> Approved	<input type="checkbox"/> Approved with Modification
<input type="checkbox"/> Denied	<input type="checkbox"/> Continued

**Storey County
Planning Department**
Storey County Courthouse
26 South B Street, PO Box 176, Virginia City, Nevada 89440
Phone 775-847-1144 – Fax 775-847-0949
planning@storeycounty.org



To: Storey County Board of County Commissioners

From: Storey County Planning Department

Meeting Date: March 18, 2025

Meeting Location: Storey County Courthouse, 26 South B Street, Virginia City, Storey County, Nevada

Staff Contact: Kathy Canfield

File: 2025-021

Applicant: Storey County

Property Owner: Storey County

Property Location: 500 Sam Clemens Avenue, Mark Twain Community Center, Storey County, Nevada, APN 003-273-13

Request: The applicant requests a Special Use Permit to construct a freestanding changeable message sign at the Mark Twain Community Center property. The proposed sign is approximately 9-feet wide by 8-feet tall and portion of the sign will contain a changeable message. The property is located at 500 Sam Clemens Avenue, Storey County, Nevada, Assessor's Parcel Number (APN) 003-273-13.

Planning Commission: The Planning Commission heard this request at their March 6, 2025 meeting. Numerous Mark Twain community residents were in attendance. The Planning Commission discussed the proposed sign and had questions including the brightness of the changeable copy area, the imagery on the non-changeable copy portion of the sign area, hours of operation, maintaining lines of sight to not impact traffic and if solar could be used. The location of the sign was also discussed and the majority that had a preference identified the very southwest corner of the parcel adjacent to the county line as a desired location. The Planning Commission directed staff to investigate the possibility of addressing the discussion items and voted 7-0 to recommend approval of the proposed sign.

As the sign is still in the design phase, staff will contact the sign maker to inquire if solar is a feasible option for the sign. Staff also will work with the sign maker to see if various levels of brightness for the sign can be proposed so that the brightness could be adjusted if needed. Stating a particular brightness number is hard to picture and the community liked the option of being able to have various levels that could be adjusted as necessary to provide for the visibility of the sign but not to have the sign be a “beacon” for the neighborhood.

The community also asked if the sign could include a mountain backdrop that was more particular to the Mark Twain area rather than a generic mountain look. Staff will work with the sign maker to identify a more local connection for the sign.

There was discussion on the hours of operation for the sign and the pros and cons of the sign being lit at all hours. The community agreed that there is probably a cut-off time in the evening that the sign should be turned off, but there are also cases when having it lit (such as during a storm event) when it would be helpful. Staff stated that experimenting with timing can occur and County staff would listen to the community once the sign was operating to see what works best for everyone.

One resident asked if trees or landscaping could be added adjacent to the sign. Staff stated that Public Works would need to maintain such landscaping but County staff would look into what type of effort this would take to maintain and assess the feasibility. The addition of landscaping adjacent to the sign is not tied to the sign installation and could always be added at a later date if found appropriate.

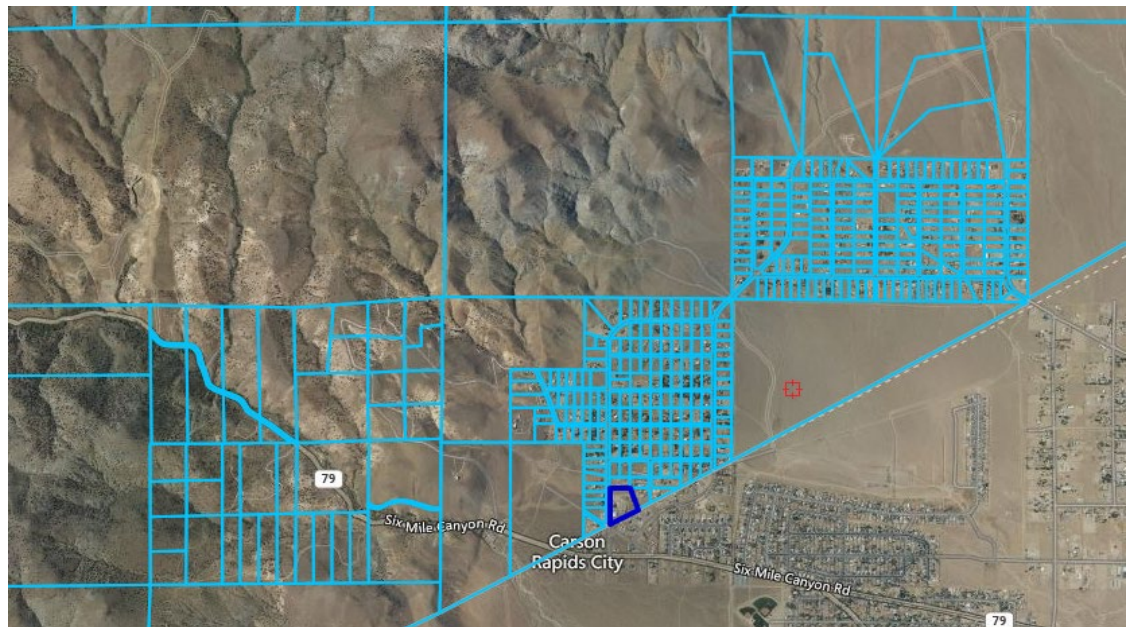
1. Background & Analysis

- A. **Sign History.** Storey County staff have been conducting public meetings and town hall workshops for the past several years in Mark Twain and in the other areas of the county. One topic that is raised at almost every meeting and workshop is the communication to advertise the community meetings and how to get more of the public aware of events and important information. The concept of having a changeable message sign at the Mark Twain Community Center was discussed and residents attending the meetings expressed their desires to pursue obtaining such a sign.

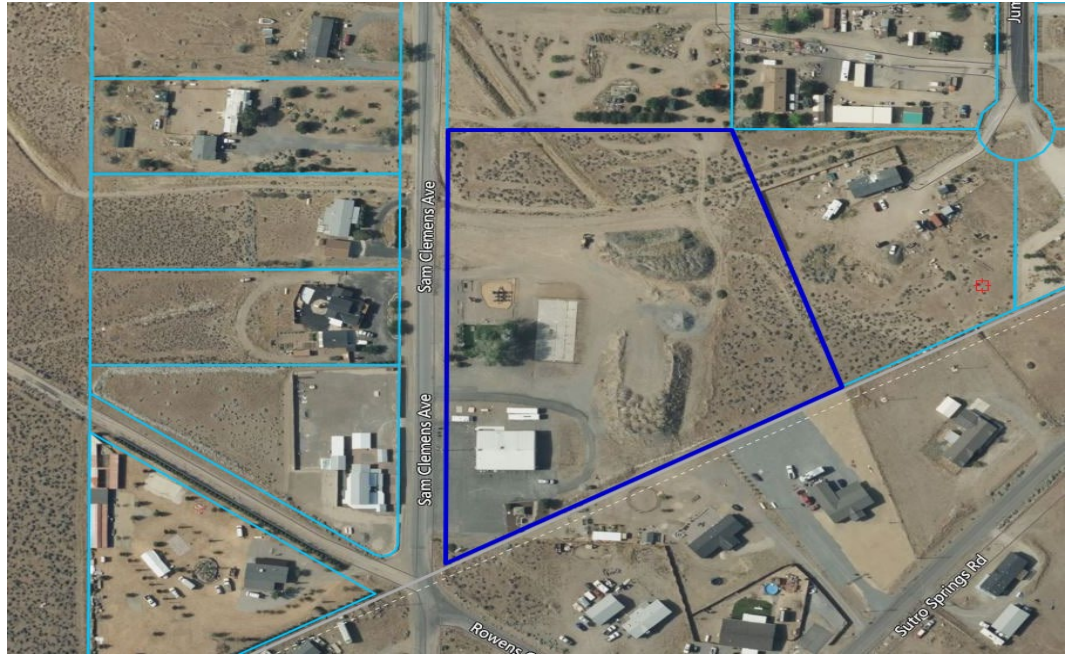
In November 2023, the Storey County sign ordinance was revised to allow for a changeable message sign to be permissible in Public zoned land with a special use permit. As discussed at the November 2023 Board of County Commissioners meeting, along with the preceding townhalls, workshops and public meetings that occurred at the Mark Twain Community Center, the special use permit process was identified so that the public would have an opportunity to review and comment on the proposed sign.

A copy of the staff report for the zoning code change associated with the changeable message sign (File 2023-040) is included with this staff report.

- B. Site Location and Characteristics:** The property is located at 500 Sam Clemens Avenue in the Mark Twain neighborhood of Storey County. The property is zoned P Public and the 5.71 acre site is owned by Storey County. The parcel contains the Mark Twain Community Center, a public park and the rear of the site is used by the Storey County Public Works Department for material and equipment storage. The street frontage is approximately 675 feet in length. The sign is proposed to be added close to the existing building as electricity and internet service are more easily available closer to the building. There are some power poles along the street frontage, along with some mailboxes. There is one residential property with a six foot high fence along the length of their frontage with two driveway access points across Sam Clemens Avenue from the proposed sign location.



Vicinity Map



Location Map



View looking north on Sam Clemens Avenue, community center is on the right.

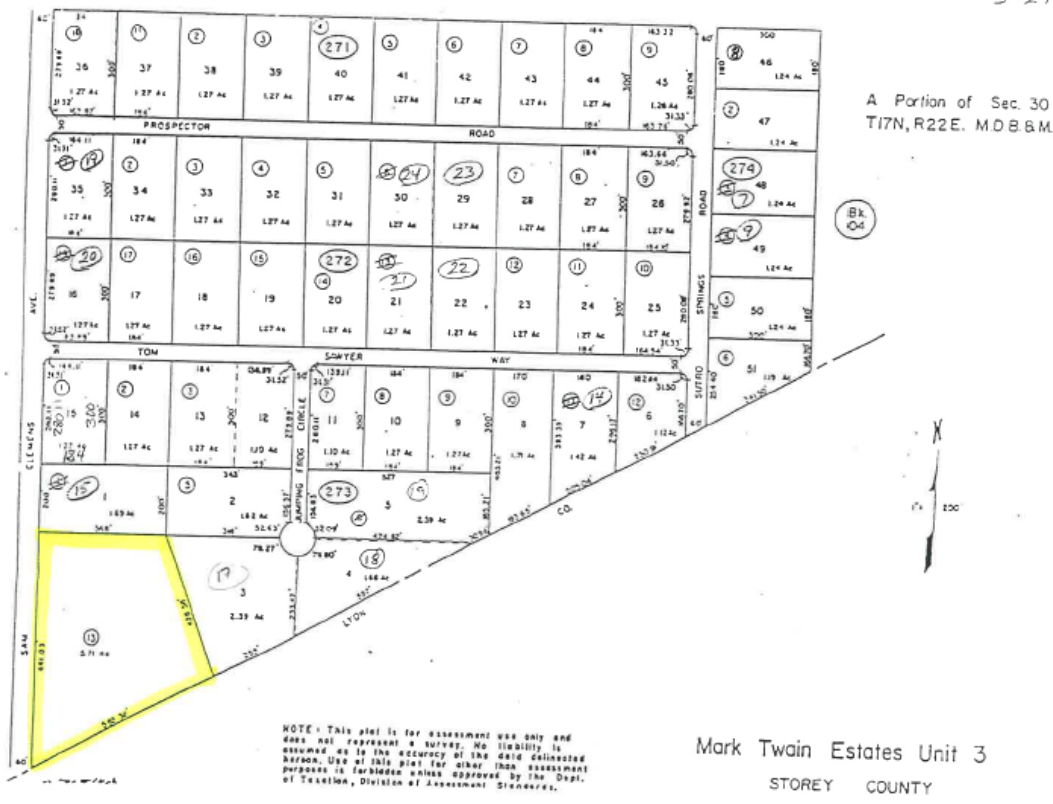


View looking south on Sam Clemens Avenue, community center is on the left.



Sign location proposed adjacent to community center

3-27



Assessor's Parcel Map

- C. **Proposed Use:** The proposed project is to install a changeable message sign at the Mark Twain Community Center. Storey County staff have reached out to a sign company to design a changeable message sign. It is expected the proposed sign will be approximately 9-feet wide by 8-feet tall with a width of approximately 1.5-feet. The sign is expected to include an electronic changeable message portion, along with a fixed sign stating Storey County and Mark Twain Estates.

The sign company has provided some options to consider and as part of the special use permit process, it is desired for the Planning Commission to hold public comment on the design and solicit comments from the public on their thoughts, along with the Planning Commission's thoughts on which design to select. Storey County staff are not set on any particular design and welcome public input.

The changeable message portion of the sign will be controlled by Storey County staff and messages will relate to public information items. It is not expected that any commercial message would utilize this sign.

- C. **Zoning Code.** The property is located within the Mark Twain neighborhood of Storey County and is zoned P Public. Chapter 17.84, Signs and Billboards, requires a changeable message sign in the Public zone to obtain a special use permit. Section 17.84.080.D states:

D. Changeable copy or variable image signs. These types of signs (as defined in Chapter 17.10) are prohibited within 2,000 feet of CR, E, and R zones and the Comstock Historic District except when located on P – Public zoned land by a special use permit. A special use permit is required in other zones. A special use permit is not required for changeable copy or variable image signs displaying only the time and temperature when located beyond 2,000 feet of CR, E, and R zones and the Comstock Historic District.

The sign chapter for the Public zoning district allows for a maximum area of the signs on the property to be calculated at 1 square foot for the linear distance of the property line frontage. In this case, the parcel frontage along Sam Clemens Avenue is approximately 665 feet, which would allow for 665 square feet of area. The existing and the proposed signage on the parcel is estimated to be less than 100 square feet, well under the allowable for the site.

The height of the sign will not exceed 10-feet. Section 17.84.100.A.6 states:

Freestanding signs shall not exceed 10-feet in height above grade level and must be designed so as not to impede traffic and pedestrian visibility. Additional height may be permitted with a Special Use Permit. Signs must also conform to the right-of-way visibility requirements identified in Section 17.84.080.G.

The final design for the sign is still flexible, but staff will limit the design so the height does not exceed 10-feet. The location of the sign is still being determined as visibility around the sign is a concern. The location needs to be close to the existing building for ease of electric and internet connection, but there are also power poles and mailboxes to incorporate into the determination for the location. There is not a defined access from the street to the parking lot of the community center, so some reconfiguration of the street frontage access is expected with determining the final location. The goal is to locate the sign for street visibility but also being attentive to visibility for vehicles entering and exiting the community center site.

This sign is considered a freestanding sign and not a billboard. A billboard is defined as being 128 square feet or greater in size.

The lighting for the sign will comply with Section 17.84.080.C. which states:

C. Lighted and illuminated signs. Signs and billboards which are lighted, illuminated, or otherwise employ the use of direct or indirect lighting, lights, or other forms of illumination, must comply with applicable regulations set forth by this chapter, chapter 8.02 Dark skies, and NRS 384, when applicable. Lighted or illuminated signs located in or within 2,000 feet of the Comstock Historic District or a CR, E, or R zone must be Compact Florescent Lighting (CFL), or Light Emitting Diode (LED) type lighting. CFL and LED light emitting devices which are made to look like incandescent light “bulbs” are permitted to be plainly visible. No neon (see Section 17.84.090 (C) or blinking, flashing, chasing, or motion lighting is permitted.

- D. **Special Use Permit.** A Special Use Permit is required because of the sign being a changeable message sign located on Public zoned land. Section 17.03.150 of the Storey County Code identifies the process for Special Use Permits. The applicant and this report follow the requirements outlined in the Code.

2. Use Compatibility and Compliance

- A. **Compatibility with surrounding uses and zones.** The following table documents land uses, zoning classification and master plan designations for the land at and surrounding the proposed project. There are no evident conflicts between the proposed project and Storey County Title 17 Zoning or the 2016 Master Plan. The proposed use is also consistent with the surrounding zoning and master plan designations.

	Land Use	Master Plan Designation	Zoning
Applicant's Land	Community center, park	Rural residential	Public
Land to the North	residential	Rural residential	Estates
Land to the East	residential	Rural residential	Estates
Land to the South	residential	Rural residential	Estates
Land to the West	residential	Rural residential	Estates

- B. **General use allowances and restrictions.** Storey County Code 17.03.150, Special Use Permit, identifies the administration for the Board and Planning Commission for allowing a special use permit. The approval, approval with conditions, or denial of the Special Use Permit must be based on findings of fact that the proposed use is appropriate or inappropriate in the location. The findings listed below are the minimum to be cited in an approval.

- (1) **Complies with the general purpose, goals, objectives, and standards of the county master plan, this title, and any other plan, program, map, or ordinance adopted, or under consideration pursuant to official notice by the county.**

The proposed sign is located within the Public zoning district within the Mark Twain neighborhood of Storey County. The special use permit is required because of the changeable message portion of the sign being located on Public zoning. The sign is proposed to provide public information and serve the surrounding residential neighborhood.

- (2) **The proposal location, size, height, operations, and other significant features will be compatible with and will not cause substantial negative impact on adjacent land uses, or will perform a function or provide a service that is essential to the surrounding land uses, community, and neighborhood.**

The proposed sign, as conditioned, will be consistent with the Storey County sign ordinance for the height, size and type of lighting. The sign will be located to allow for visibility from the street but with attention to visibility for vehicles entering and exiting the community center property. The sign will provide public information to the surrounding residential community.

- (3) **Will result in no substantial or undue adverse effect on adjacent property, the character of the neighborhood, traffic conditions, parking, public improvements, public sites or right-of-way, or other matters affecting the public health, safety, and general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions and policies of the county master plan, this title, and any other plans, program, map or ordinance adopted or under consideration pursuant to an official notice, by the county, or other governmental agency having jurisdiction to guide growth and development.**

The proposed sign will be located within the Public zoning district at the Mark Twain Community Center site. The closest residence is directly across Sam Clemens Avenue from the proposed sign location. This residence has a six foot solid wood fence along the front property line and the changeable message portion of the sign is not expected to be visible from the residence first floor. The sign will be perpendicular to the street so any lighting will not be facing the residence. The lighting shall comply with Section 17.84.080.C of the Storey County Code.

- (4) **The proposed use in the proposed area will be adequately served by and will impose no undue burden on any of the improvements, facilities, utilities, or services provided by the county or other governmental agency having jurisdiction in the county.**

The proposed sign is not expected to require any additional governmental services or impact existing facilities.

- C. **Conformance with the 2024 Storey County Master Plan.** The property is located in the Mark Twain – Flowery Range area of Storey County. The proposed sign will be located at the Mark Twain Community Center and provide public information for the surrounding residential neighborhood. The Master Plan identifies this area to retain the rural residential lifestyle. The proposed sign is not expected to change the character of the neighborhood and is consistent with the Master Plan goals for the subject area. .

3. Findings of Fact

- A. **Motion for approval.** The following findings of fact are evident with regard to the requested special use permit when the recommended conditions of approval in Section 4, Recommended Conditions of Approval, are applied.
- (1) This approval is for a Special Use Permit to construct a freestanding changeable message sign at the Mark Twain Community Center property. The proposed sign is approximately 9-feet wide by 8-feet tall and portion of the sign will contain a changeable message. The property is located at 500 Sam Clemens Avenue, Storey County, Nevada, Assessor’s Parcel Number (APN) 003-273-13.
 - (2) The proposed project complies with the general purpose, goals, objectives, and standards of the county master plan, this title, and any other plan, program, map, or ordinance adopted, or under consideration pursuant to official notice by the county.
 - (3) The proposal location, size, height, operations, and other significant features will be compatible with and will not cause substantial negative impact on adjacent land uses or will perform a function or provide a service that is essential to the surrounding land uses, community, and neighborhood.
 - (4) The proposed project will result in no substantial or undue adverse effect on adjacent property, the character of the neighborhood, traffic conditions, parking, public improvements, public sites or right-of-way, or other matters affecting the public health, safety, and general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions and policies of the county master plan, this title, and any other plans, program, map or ordinance adopted or under consideration pursuant to an official notice, by the county, or other governmental agency having jurisdiction to guide growth and development.
 - (5) The proposed use in the proposed area will be adequately served by and will impose no undue burden on any of the improvements, facilities, utilities, or services provided by the county or other governmental agency having jurisdiction in the county.
 - (6) The Special Use Permit conforms to the 2024 Storey County Master Plan for the Mark Twain – Flowery Range planning area in which the subject property is located. A discussion supporting this finding is provided in Section 2.C of this

staff report and the contents thereof are cited in an approval of this Special Use Permit.

- (7) The conditions under the Special Use Permit do not conflict with the minimum requirements in Storey County Code Sections 17.03.150, Special Use Permit and 17.84, Signs and Billboards.

B. Motion for denial. Should a motion be made to deny the Special Use Permit request, the following findings with explanation why should be included in that motion.

- (1) This denial is for a Special Use Permit to construct a freestanding changeable message sign at the Mark Twain Community Center property. The proposed sign is approximately 9-feet wide by 8-feet tall and portion of the sign will contain a changeable message. The property is located at 500 Sam Clemens Avenue, Storey County, Nevada, Assessor's Parcel Number (APN) 003-273-13. Special Use Permit 2021-19 to construct a freestanding sign on a parcel of land without a primary land use.
- (2) The conditions under the Special Use Permit conflict with the minimum requirements in Storey County Code Sections 17.03.150, Special Use Permit and Section 17.84 – Signs and Billboards.
- (3) The conditions under the Special Use Permit do not adequately mitigate potential adverse impacts on surrounding uses or protect against potential safety hazards for surrounding use.

4. Recommended Conditions of Approval

- A. Special Use Permit.** This approval is for a Special Use Permit to construct a freestanding changeable message sign at the Mark Twain Community Center property. The proposed sign is approximately 9-feet wide by 8-feet tall and portion of the sign will contain a changeable message. The property is located at 500 Sam Clemens Avenue, Storey County, Nevada, Assessor's Parcel Number (APN) 003-273-13.
- B. Requirements.** The Applicant shall apply for all required permits and licenses, including any applicable building and fire permits, for the project within 24 months from the date of final approval of this SUP, and continuously maintain the validity of those permits/licenses, or this approval shall be null and void. This Special Use Permit shall remain valid as long as the Applicant remains in compliance with the terms of this Special Use Permit and Storey County, State of Nevada, and federal regulations. No sign installation activity shall commence prior to the Applicant securing rights to the Special Use Permit and receiving approval from the Comstock Historic District and the Storey County Community Development Department (if applicable).
- D. Compliance.** The use on the subject property must comply with federal, state, and county codes and regulations and the submitted plans and reports, as approved.

- E. **Design.** The proposed features associated with the sign must meet the requirements of Chapter 17.84 of the Storey County Code, including placement, size, height and lighting.

5. Public Comment

As of February 25, 2025, Staff has not received any comments from the public on this proposed design. Past public workshops and meetings have discussed the concept of the changeable message sign with the Mark Twain community and such a sign has been encouraged by the residents in attendance. There was public comment at the Planning Commission meeting of March 6, 2025 and those comments have been summarized in Planning Commission discussion which starts on Page 1 of this staff report.

6. Power of the Board

At the conclusion of the hearing, the Board of County Commissioners must take such action thereon as it deems warranted under the circumstances and announce and record its action by formal resolution, and such resolution must recite the findings of the Board of County Commissioners upon which it bases its decision.

7. Proposed Motions

This section contains two motions from which to choose. The motion for approval is recommended by staff in accordance with the findings under Section 3.A of this report. Those findings should be made part of the approval motion. A motion for denial may be made and that motion should cite one or more of the findings shown in Section 3.B. Other findings of fact determined appropriate by the Planning Commission should be made part of either motion.

A. Recommended motion for approval

In accordance with the recommendation by the Planning Commission and staff, the findings of fact under Section 3.A of this report and read into the record by Storey County staff, and other findings deemed appropriate by the Planning Commission, and in compliance with the discussion items listed under the Planning Commission heading starting on Page 1 of this staff report, and in compliance with the conditions of approval, I (*commissioner*), move to approve a Special Use Permit to construct a freestanding changeable message sign at the Mark Twain Community Center property. The proposed sign is approximately 9-feet wide by 8-feet tall and portion of the sign will contain a changeable message. The property is located at 500 Sam Clemens Avenue, Storey County, Nevada, Assessor's Parcel Number (APN) 003-273-13.

B. Alternative motion for denial

Against the recommendation by the Planning Commission and staff, but in accordance with the findings of fact under Section 3.2 of this report as read into the record by Storey County staff, and other findings deemed appropriate by the Board of County Commissioners, I (*commissioner*), move to deny the Special Use Permit to construct a freestanding changeable message sign at the Mark Twain Community Center property.

The proposed sign is approximately 9-feet wide by 8-feet tall and portion of the sign will contain a changeable message. The property is located at 500 Sam Clemens Avenue, Storey County, Nevada, Assessor's Parcel Number (APN) 003-273-13.

Potential Sign Options

all aluminum construction

routed push thru acrylic

18.00"

99.00"

108.00"

24.00"

72"x24", 6mm digital message board

option: 1, exterior, internally-illuminated, double-sided monument, routed push-thru acrylic and message board

SIGN SHOPPE
Julie's
EST. 1993

NV. LIC #56704
info@juliesignshoppe.com
775-746-4337

PROJECT MANAGER
JC Arkham

CLIENT
Storey County
Public Works
500 Sam Clemens Ave
Daton, NV 89403
Jason Wierzbicki
775-229-9920

DATE
01/31/25

LO#2

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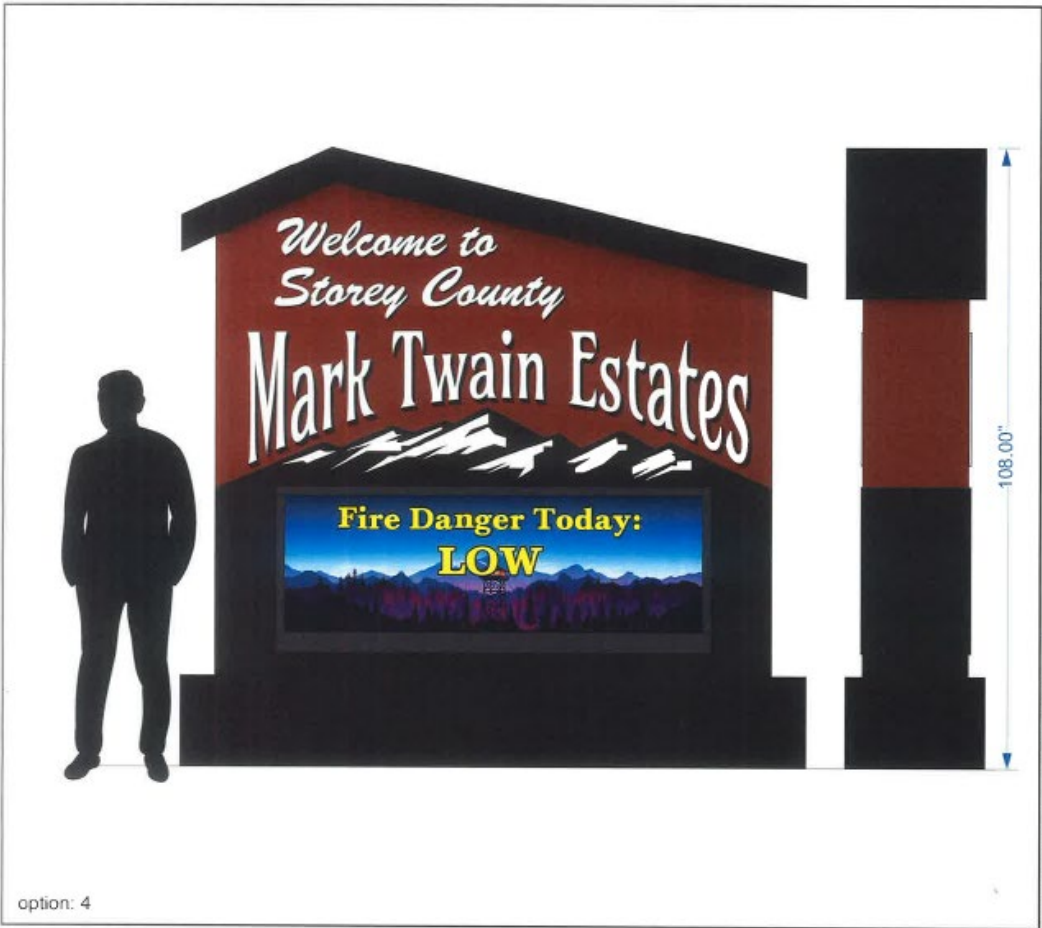


NV, LIC #56704
 info@juliesignshoppe.com
 775-746-4337

PROJECT MANAGER	JC Arkham
CLIENT	Storey County Public Works 500 Sam Clemens Ave Daton, NV 89403 Jason Wierzbicki 775-229-9920
DATE	01/31/25
LO#2	

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NV. LIC #56704
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PROJECT MANAGER

JC Arkham

CLIENT

Storey County
 Public Works
 500 Sam Clemens Ave
 Daton, NV 89403
 Jason Wierzbicki
 775-229-9920

DATE

01/31/25

LO#2

108.00"

option: 4

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Board of Storey County Commissioners Agenda Action Report

**Meeting date: 3/18/2025 10:00 AM -
BOCC Meeting**

Estimate of Time Required: 5

Agenda Item Type: Discussion/Possible Action

- **Title:** Consideration and possible approval of a quitclaim deed to transfer ownership of the parcel of land associated with the Community Chest community center from Storey County to Community Chest. This parcel is located at Miner’s Park and a recent parcel map created the parcel of land associated with the Community Chest building. This document also includes the reservation of an access easement to Storey County for the purpose of allowing maintenance activities associated with Miner’s Park and more particularly an existing retaining wall that abuts the property line.
- **Recommended motion:** I (commissioner) recommend approval of a Quitclaim deed to transfer ownership of the parcel of land associated with the Community Chest community center from Storey County to Community Chest. This parcel is located at Miner’s Park and a recent parcel map created the parcel of land associated with the Community Chest building. This document also includes the reservation of an access easement to Storey County for the purpose of allowing maintenance activities associated with Miner’s Park and more particularly an existing retaining wall that abuts the property line.

- **Prepared by:** Kathy Canfield

Department: Planning

Contact Number: 775-847-1144

- **Staff Summary:** The attached quitclaim deed transfers the ownership of the parcel of land associated with the Community Chest community center from Storey County to Community Chest. This parcel is located at Miner’s Park and a recent parcel map created the parcel of land associated with the Community Chest building. This document also includes the reservation of an access easement to Storey County for the purpose of allowing maintenance activities associated with Miner’s Park and more particularly an existing retaining wall that abuts the property line. The easement is 9-feet in width for the length of the west property line of Lot VCCC1 as shown on the Parcel Map File 140309. The quitclaim deed also identifies Storey County as having the Right of First Refusal in the case if the property is ever proposed to be sold.
- **Supporting Materials:** See Attachments
- **Fiscal Impact:**

- **Legal review required:** TRUE

- **Reviewed by:**

____ Department Head

Department Name:

____ County Manager

Other Agency Review: _____

- **Board Action:**

<input type="checkbox"/> Approved	<input type="checkbox"/> Approved with Modification
<input type="checkbox"/> Denied	<input type="checkbox"/> Continued

A.P.N. 001-156-04

WHEN RECORDED MAIL TO:

Storey County
P.O. Box 176
Virginia City, NV 89440

MAIL TAX STATEMENTS TO:

Community Chest, Inc.
P.O. Box 980
Virginia City, NV 89440

QUITCLAIM DEED WITH RESERVATION OF EASEMENT

THIS INDENTURE WITNESSETH: STOREY COUNTY, a political subdivision of the STATE OF NEVADA (“**Grantor**”), located at 26 S B Street, Virginia City, NV 89440.

In consideration of \$10.00, the receipt of which is hereby acknowledged, does hereby quitclaim all of its right title and interest to Community Chest, Inc., a Nevada nonprofit corporation, P.O. Box 980, Virginia City, NV 89440 (“**Grantee**”) and to its heirs and assigns of the said Grantee in and to that real property situated in the County of Storey, State of Nevada bounded and described on the attached legal description (the “**Property**”).

See attached Exhibit “A” legal description and Exhibit “B” parcel map; together with all and singular the tenements, hereditaments and appurtenances thereunto belonging or in any wise appertaining, and any reversions, remainders, rents, issues or profits thereof for so long as the property is used for non-profit purposes; subject to the following reservations.

1. Right of First Refusal.

Grantor shall have a right of first refusal to purchase the property in the event that Grantee desires to sell this Property, or any portion thereof, exercisable within thirty (30) days following written notice provided by Grantee by personal service and certified mail. Any sale of the Property in violation of this right of first refusal, shall be void.

2. Access Easement.

By this instrument, Grantor further reserves to itself and its grantees, and successors in interest a perpetual nonexclusive access easement of nine (9) feet in width along the entire westerly boundary of the Property for access, maintenance and other uses incidental to park operations to Storey County and its invitees, guests, licensees, agents, employees, and tenants, for ingress to and egress from the Property on, over and across the Property.

[*Signatures on following page*]

DATED: This _____ day of _____,2025

STOREY COUNTY,
a political subdivision of the STATE OF NEVADA

By: _____
Name: _____
Title: _____

ACKNOWLEDGEMENT

STATE OF NEVADA)
) ss:
COUNTY OF STOREY)

This instrument was acknowledged before me on, _____ by
_____, as _____ of STOREY COUNTY, a political subdivision of the
STATE OF NEVADA

Notary Public

ACCEPTED: This _____ day of _____,2025

COMMUNITY CHEST, INC.,
a Nevada nonprofit corporation

By: _____
Name: _____
Title: _____

EXHIBIT A
LEGAL DESCRIPTION

All that certain piece of parcel of land situated in Storey County, Nevada, described as follows:

Parcel VCCC1, LOT: PTN 1,2,3, BLOCK 50, RNG G, PTN G & CARSON STR, TOWN: VIRGINIA CITY as shown on the Parcel Map for Storey County recorded on November 12, 2024, as File No. 140309 in the Official Records of Storey County, Nevada.

Containing an area of 0.40 acres of land more or less.

**EXHIBIT B
PARCEL MAP**



Storey County Board of Fire Commissioners

Agenda Action Report

Meeting date: 03/18/2025

Estimate of time required: 5 Minutes

Agenda: Consent [] Regular agenda [X] Public hearing required []

- 1. Title:** DISCUSSION/POSSIBLE ACTION: Discussion and possible approval to send \$176,929.54 of outstanding unpaid ambulance bills to collections & write off the amount of \$2,101.98.
- 2. Recommended motion:** I (Fire Commissioner) move to approve to send \$176,929.54 of outstanding unpaid ambulance bills to collections & write off the amount of \$2101.98.

3. Prepared by: Jeremy Loncar

Department: Fire

Telephone: 847-0954

4. Staff summary: Our third-party specialized ambulance billing company has made every effort to collect outstanding unpaid debts, totaling \$176,929.54, that have been unresolved for a minimum of one year. Despite repeated efforts to contact and work with the debtors, we have not received payment or a reasonable response.

After thorough consideration and review of the collection efforts, further internal attempts to collect these debts have been unsuccessful. As a result, I recommend that we take the necessary steps to refer these accounts to a collections agency to ensure recovery of these funds and to minimize further financial impact on the Fire District.

Summary of Accounts:

- Total Outstanding Debt: 176,929.54
- Number of Debtors: 146

By engaging a professional collections agency, we would benefit from their expertise in managing these accounts and ensuring that we adhere to legal and ethical standards throughout the process. We will also be able to maintain our focus on operations while recovering these funds.

We are writing off the balance of \$2,101.98 for individuals enrolled in the ambulance subscription, patients evaluated without treatment or transport, and individuals who were deceased at the scene.

5. Supporting materials:

6. Fiscal impact:

Funds Available: N/A

Fund:

___ Comptroller

7. Legal review required:

_ District Attorney

8. Reviewed by:

JL Fire Chief

__ __ Comptroller

9. Board action:

Approved
 Denied

Approved with Modifications
 Continued

Agenda Item No. __

Unpaid Bad Debt

Date Srvc	Charge	Paid	Balance
01/05/24	\$1,788.08	(\$272.57)	\$309.53
01/06/24	\$2,169.45	\$0.00	\$2,169.45
01/08/24	\$2,026.43	(\$620.02)	\$1,406.41
01/12/24	\$2,014.60	\$0.00	\$2,014.60
01/20/24	\$2,026.43	(\$538.91)	\$1,487.52
01/20/24	\$1,814.25	\$0.00	\$1,814.25
01/17/23	\$1,898.34	\$0.00	\$1,898.34
01/22/24	\$1,505.79	(\$239.79)	\$301.17
01/21/23	\$2,064.77	\$0.00	\$2,064.77
01/30/24	\$1,650.98	\$0.00	\$1,650.98
01/31/24	\$2,055.36	(\$575.15)	\$146.72
02/01/24	\$2,003.02	(\$556.92)	\$142.08
02/03/24	\$2,140.52	(\$628.06)	\$1,512.46
02/07/24	\$2,297.54	(\$676.34)	\$1,621.20
02/08/24	\$1,933.92	\$0.00	\$1,933.92
02/12/24	\$2,052.60	\$0.00	\$2,052.60
02/05/23	\$2,297.54	(\$935.71)	\$1,361.83
02/14/24	\$2,297.54	\$0.00	\$2,297.54
02/15/24	\$1,986.26	(\$1,191.76)	\$794.50
02/17/24	\$1,898.34	\$0.00	\$1,898.34
02/23/24	\$2,107.70	\$0.00	\$2,107.70
02/23/24	\$2,102.12	\$0.00	\$2,102.12
02/28/24	\$1,898.34	(\$688.57)	\$175.65
02/16/23	\$2,029.19	(\$550.97)	\$140.55
03/02/24	\$2,117.11	(\$724.67)	\$1,392.44
03/04/24	\$1,898.34	(\$744.21)	\$120.01
03/05/24	\$1,788.08	(\$601.27)	\$153.39
03/05/24	\$2,107.71	(\$585.66)	\$149.41
03/10/24	\$2,052.60	(\$547.85)	\$150.00
03/11/24	\$2,140.52	(\$558.28)	\$1,582.24
03/12/24	\$2,245.20	(\$233.08)	\$2,012.12
03/13/24	\$1,712.39	\$0.00	\$1,712.39
03/15/24	\$2,023.61	(\$534.50)	\$1,489.11
03/17/24	\$2,154.46	(\$558.86)	\$142.56
03/05/23	\$2,169.45	(\$378.93)	\$1,790.52
03/07/23	\$2,122.04	(\$387.10)	\$1,734.94
03/25/24	\$1,735.74	(\$446.02)	\$113.77
03/25/24	\$1,735.74	(\$446.02)	\$113.77
03/25/24	\$2,145.45	(\$1,422.00)	\$723.45
03/18/23	\$2,095.87	\$0.00	\$2,095.87
03/30/24	\$1,819.83	(\$511.37)	\$130.45
03/22/23	\$2,195.62	(\$434.13)	\$1,761.49
03/23/23	\$2,012.43	(\$114.24)	\$1,898.19
04/05/24	\$1,715.15	(\$479.83)	\$122.41
04/08/24	\$2,029.19	(\$574.67)	\$1,454.52
04/08/24	\$2,003.02	(\$498.18)	\$1,504.84

04/11/24	\$1,479.62	(\$810.71)	\$668.91
04/13/24	\$1,976.86	\$0.00	\$1,976.86
04/15/24	\$240.24	\$0.00	\$240.24
04/19/24	\$1,872.17	\$0.00	\$1,872.17
04/23/24	\$1,840.42	(\$474.05)	\$120.93
04/15/23	\$1,631.06	(\$105.00)	\$1,526.06
04/16/23	\$2,169.45	\$0.00	\$2,169.45
04/16/23	\$2,056.64	(\$905.09)	\$230.88
05/02/24	\$1,840.42	\$0.00	\$1,840.42
05/02/24	\$2,107.70	(\$601.49)	\$1,506.21
05/03/24	\$1,788.08	(\$460.73)	\$117.53
04/29/23	\$1,892.76	\$0.00	\$1,892.76
05/08/22	\$983.77	\$0.00	\$983.77
05/03/23	\$2,166.69	\$0.00	\$2,166.69
05/11/24	\$1,846.00	(\$1,163.02)	\$682.98
05/15/24	\$2,293.06	\$0.00	\$2,293.06
05/10/23	\$2,297.55	(\$842.17)	\$1,455.38
05/23/24	\$2,023.61	\$0.00	\$2,023.61
06/10/23	\$2,038.60	(\$612.10)	\$1,426.50
06/11/23	\$1,986.27	\$0.00	\$1,986.27
06/16/23	\$1,945.11	(\$1,696.65)	\$248.46
06/14/22	\$1,592.14	(\$789.18)	\$44.00
06/22/23	\$2,107.70	(\$434.13)	\$1,673.57
06/22/23	\$1,767.49	\$0.00	\$1,767.49
06/29/23	\$2,166.69	\$0.00	\$2,166.69
07/02/23	\$1,741.32	\$0.00	\$1,741.32
07/03/23	\$2,245.20	(\$1,747.05)	\$498.15
07/08/23	\$1,866.59	\$0.00	\$1,866.59
07/09/23	\$1,774.14	\$0.00	\$1,774.14
07/13/23	\$1,898.34	(\$672.79)	\$173.66
07/15/23	\$2,062.01	(\$1,872.17)	\$189.84
07/18/23	\$1,814.25	(\$594.49)	\$151.65
07/27/23	\$2,003.02	(\$701.63)	\$178.99
07/29/23	\$2,029.20	(\$706.47)	\$180.22
08/02/23	\$2,380.98	(\$574.70)	\$1,806.28
07/27/22	\$1,567.54	\$0.00	\$1,567.54
08/04/23	\$1,610.47	(\$438.30)	\$111.80
08/09/23	\$1,918.93	\$0.00	\$1,918.93
08/09/23	\$1,918.93	(\$958.98)	\$959.95
08/15/23	\$2,107.70	\$0.00	\$2,107.70
08/22/23	\$2,052.60	\$0.00	\$2,052.60
08/25/23	\$1,907.75	(\$708.83)	\$1,198.92
01/22/24	\$1,866.59	(\$614.48)	\$1,252.11
08/30/23	\$2,038.60	(\$365.98)	\$1,672.62
09/14/23	\$2,223.96	(\$612.10)	\$1,611.86
09/19/23	\$2,029.19	\$0.00	\$2,029.19
09/20/23	\$2,140.52	(\$680.11)	\$1,460.41
10/03/23	\$2,107.70	(\$467.96)	\$1,639.74

10/05/23	\$1,986.26	\$0.00	\$1,986.26
10/07/23	\$2,029.20	(\$373.10)	\$321.17
10/07/23	\$1,898.34	(\$584.46)	\$265.00
10/19/23	\$1,898.34	(\$355.44)	\$300.00
10/03/22	\$2,245.20	(\$2,143.28)	\$101.92
10/22/23	\$2,090.94	(\$1,602.42)	\$488.52
10/24/23	\$2,049.78	(\$593.93)	\$1,455.85
10/27/23	\$2,349.88	(\$2,049.90)	\$299.98
10/29/23	\$2,140.52	\$0.00	\$2,140.52
10/30/23	\$2,245.20	\$0.00	\$2,245.20
11/04/23	\$2,143.28	(\$2,055.36)	\$87.92
11/04/23	\$2,195.62	(\$1,985.92)	\$209.70
11/06/23	\$2,140.52	(\$387.10)	\$1,753.42
11/08/23	\$2,585.94	(\$922.13)	\$1,663.81
11/08/23	\$1,997.44	\$0.00	\$1,997.44
11/08/23	\$2,219.03	(\$659.61)	\$1,559.42
11/14/23	\$2,023.61	(\$651.11)	\$1,372.50
11/15/23	\$2,195.62	(\$842.17)	\$1,353.45
11/16/23	\$2,326.48	\$0.00	\$2,326.48
11/17/23	\$2,400.59	(\$1,249.89)	\$1,150.70
11/18/23	\$2,023.61	\$0.00	\$2,023.61
11/21/23	\$2,038.60	(\$1,950.68)	\$87.92
11/27/23	\$2,271.37	(\$723.66)	\$1,547.71
11/28/23	\$2,140.52	\$0.00	\$2,140.52
11/28/23	\$1,866.59	\$0.00	\$1,866.59
11/29/23	\$2,614.35	\$0.00	\$2,614.35
11/29/23	\$2,614.35	\$0.00	\$2,614.35
11/30/23	\$2,114.35	\$0.00	\$2,114.35
11/30/23	\$2,169.45	(\$651.30)	\$1,518.15
12/02/23	\$2,140.52	(\$612.10)	\$1,528.42
12/02/23	\$2,484.02	(\$1,238.69)	\$1,245.33
12/02/23	\$1,395.53	(\$340.45)	\$86.84
12/05/23	\$1,741.32	(\$279.72)	\$325.00
12/06/23	\$1,986.26	\$0.00	\$1,986.26
12/06/23	\$2,081.53	(\$1,285.56)	\$143.33
11/19/22	\$2,276.31	(\$1,400.00)	\$686.48
12/10/23	\$2,140.52	(\$1,950.68)	\$189.84
12/10/23	\$2,195.62	(\$732.37)	\$1,463.25
12/11/23	\$2,029.19	(\$398.12)	\$300.00
12/13/23	\$1,505.79	\$0.00	\$1,505.79
12/13/23	\$1,803.08	(\$281.00)	\$315.00
12/14/23	\$1,788.08	(\$572.72)	\$1,215.36
12/15/23	\$1,683.40	(\$239.74)	\$287.15
12/17/23	\$1,761.91	\$0.00	\$1,761.91
12/18/23	\$1,657.23	(\$300.00)	\$1,357.23
12/22/23	\$1,897.69	\$0.00	\$1,897.69
12/29/23	\$1,604.89	\$0.00	\$1,604.89
04/13/23	\$2,140.52	(\$544.09)	\$1,596.43
06/01/21	\$1,304.27	\$0.00	\$234.77

01/19/22	\$1,402.49	(\$558.16)	\$139.54
12/23/23	\$1,735.74	(\$563.31)	\$150.00
12/24/23	\$1,735.74	(\$388.31)	\$325.00
Totals:	\$289,000.92	(\$70332.48)	\$176929.54

Billing Adjustment #'s (\$41,738.90)

Write off's			
Date Svc	Charge	Paid	Balance
02/19/24	\$1,945.11	\$519.11	\$300.00
03/31/24	\$1,369.36	\$390.02	\$979.34
04/05/23	\$240.24	\$0.00	\$240.24
11/17/23	\$240.24	\$0.00	\$240.24
03/21/23	\$342.16	\$0.00	\$342.16
Totals:	\$4,137.11	\$909.13	\$2101.98



Storey County Board of Fire Commissioners

Agenda Action Report

Meeting date: 3/18/2025

Estimate of time required: 10 minutes.

Agenda: Consent [] Regular agenda [X] Public hearing required []

1. **Title: DISCUSSION/FOR POSSIBLE ACTION:** Presentation, public workshop, discussion, and consideration directing staff regarding updates to the Storey County Fire Protection Districts Capital and Staffing Improvement Plan for Fiscal Year 2025-2030.

2. **Recommended motion:** I (Fire Commissioner) move to approve the presented SCFPD 2025-2030 Capital and Staffing Improvement plan with the following changes

_____:

Alternate motion:

I (Fire Commissioner) move to approve the presented SCFPD 2025-2030 Capital and Staffing Improvement plan.

3. **Prepared by:** Jeremy Loncar

Department: Fire

Telephone: 847-0954

4. **Staff summary:** In preparation for the upcoming budget cycle, it is essential to revisit the District's Capital and Operational Plan to ensure it reflects current needs and aligns with both fiscal goals and anticipated growth. This annual update will help maintain a clear focus on priorities and strategic initiatives.

This workshop is intended to provide an in-depth overview of the District's projected growth over the next five years, with a particular emphasis on key purchases and staffing expansions planned for the upcoming budget year. The objective is to ensure the District remains proactive in addressing evolving operational demands and financial opportunities

5. **Supporting materials:**

6. **Fiscal impact:**

a. Funds Available: Fund: Comptroller: ____

7. **Legal review required:** _____

___ District Attorney

8. **Reviewed by:**

a. ___ Department Head Fire District

Other agency review:

9. Board action:

- a. Approved
- b. Denied

- Approved with Modifications
- Continued

Agenda Item No. _____

STOREY COUNTY FIRE PROTECTION DISTRICT



Capital and Staffing Improvement Plan

2025-2030

Be Nice-Solve Problems
Serve Community

Submitted by:
Jeremy B. Loncar, *Fire Chief*

Overview

The Storey County Fire Protection District is committed to enhancing its operational capabilities through strategic investments in capital projects and staffing improvements over the next five years. This plan outlines key initiatives aimed at addressing critical infrastructure needs, modernizing equipment, and ensuring optimal staffing levels to meet the growing demands of the community. As the population of Storey County continues to increase and the risk of emergencies evolves, these investments are essential to maintaining a high standard of service, ensuring the safety of our residents, and improving the District's overall readiness.

Key Initiatives:

1. Infrastructure Development

To support the growing community, the District will prioritize the construction, renovation, and upgrading of essential facilities. This includes new fire stations in areas with increased demand, the replacement of outdated facilities, and improvements to existing infrastructure. These capital projects are designed to ensure that the District has strategically located and well-equipped facilities to respond quickly and efficiently to emergencies.

2. Equipment Modernization

Over the next five years, the District will focus on modernizing its fleet and equipment to keep pace with advancements in technology and the increasing complexity of emergencies. This includes upgrading firefighting apparatus, investing in specialized rescue equipment, and replacing aging vehicles that are critical to operations. By embracing state-of-the-art tools and technology, the District aims to enhance response capabilities, improve safety for both personnel and the public and ensure long-term operational sustainability.

3. Staffing Enhancements

As the community grows, so does the need for increased staffing to maintain adequate service levels. The District's staffing improvement plan includes adding firefighters, paramedics, and support personnel to key stations, particularly those serving high-demand areas. The recruitment of additional line staff will allow the District to transition more stations from two-person to three-person staffing models, improving the efficiency and effectiveness of emergency responses. This initiative also includes the hiring of specialized staff, such as mechanics, finance officer, and fire prevention officers, to provide critical support and alleviate workload pressures on existing personnel.

4. Leadership Development and Career Progression

In tandem with staffing increases, the District will focus on leadership development and career progression for its personnel. This includes promoting qualified staff to key leadership roles, such as captains and battalion chiefs, and ensuring that every team is led by experienced and well-trained leaders. By investing in the professional growth of its workforce, the District can foster a culture of excellence, accountability, and innovation, positioning itself as a leader in fire service management.

5. Community Risk Reduction and Education

As part of the five-year plan, the District will expand its community outreach and fire prevention programs. Increased staffing for fire prevention and public education initiatives will allow the District to engage with residents, providing essential knowledge on fire safety, disaster preparedness, and emergency medical response. This proactive approach aims to reduce the overall risk to the community by preventing emergencies before they occur and fostering a safer environment for all.

6. Collaborative Partnerships and Regional Support

The District recognizes the importance of collaborating with neighboring agencies and regional partners to enhance service delivery. Over the next five years, efforts will be made to strengthen mutual aid agreements, participate in regional training exercises, and leverage partnerships for grant opportunities. By fostering strong relationships with local, state, and federal partners, the District can access additional resources, share expertise, and improve its capacity to respond to large-scale incidents.

Conclusion:

Through these targeted investments in infrastructure, equipment, staffing, and community engagement, the Storey County Fire Protection District will be well-positioned to meet the growing demands of the region. This five-year strategic plan reflects the District's commitment to providing exceptional emergency services, safeguarding public safety, and ensuring that both current and future residents of Storey County can rely on a capable and responsive fire service.

2025-2030 Storey County Fire Protection District Capital Improvement Plan.

Apparatus / Heavy Equipment	2024/2025	2025/2026	2026/2027	2027/2028	2028/2029	2029/2030	Notes
Type III Engine at FS #71 (Replacement)			\$565,000				Move the current unit to FS #73
Type II Engine at FS #72 (Replacement)		\$630,000					3 year wait
Type I Engine at FS #75 (Replacement/Industrial spec)				\$1,400,000			
Wildland Division vehicle			\$75,000				
Prevention Vehicle (3-year replacement plan) 4 units		\$55,000	\$56,000			\$65,000	Auction old units
Training Officer Vehicle (New)			\$70,000				
Battalion Chief Vehicle (3-year replacement plan)			\$85,000			\$90,000	
Haz Mat Unit #75					\$1,500,000		
Ambulance Replacement (2-year replacement plan)	\$370,000		\$380,000		\$390,000		Approximate 2-year delivery
Ladder Truck 71	\$1,250,000						
Mechanic Service Truck		\$225,000					
Repaint / Refurbish Squad 75			\$80,000				
Replace Water Tenders #72, 71, 74, 73		\$450,000	\$455,000	\$460,000	\$465,000		
Heavy Rescue (N Districts)					\$750,000		
Excavator (Replacement)				\$275,000			Surplus old unit
Transport & Trailer	\$300,000						
Side by Side (WL Division)		\$55,000					
Dozer #71					\$350,000		
	\$670,000	\$1,415,000	\$1,766,000	\$2,996,000	\$2,135,000	\$155,000	

Information Technology	2024/2025	2025/2026	2026/2027	2027/2028	2028/2029	2029/2030	Notes
Install Station Alert & <i>Exterior Cameras</i>		\$85,000	\$60,000		\$70,000		
Virtual Sand Table Trainer			\$108,000				Seeking FEMA Training Funds
	\$0	\$85,000	\$168,000	\$32,000	\$70,000	\$0	

Facilities	2024/2025	2025/2026	2026/2027	2027/2028	2028/2029	2029/2030	Notes
New Fire Station 71 VC	\$8,500,000						Partially grant funded (Federal)
EOC improvement (FS # 71)			\$500,000				Possible DHS EOC Grant funding
Replace Station 74				\$13,000,000			
New Fire Station 73				\$13,000,000			Developer agreement & District funds
New Fire Station 75 (New) Training Center		\$8,000,000					Explore bond options
Replace Station #72 House					\$9,000,000		
Fuels Management Quarters (Dist. 72)			\$2,000,000				
<i>Generator at FS# 72</i>		<i>\$50,000</i>					
Connect FS# 72 to New App bays			\$150,000				
	\$ 8,500,000	\$ 8,200,000	\$ 10,625,000	\$ 26,000,000	\$ 9,000,000	0	

Equipment / Misc.	2024/2025	2025/2026	2026/2027	2027/2028	2028/2029	2029/2030	Notes
Electric Extrication Tools				\$66,000	\$70,000		Partial FHS Grant Funding
<i>Fire Vent Training Trailer</i>		<i>\$145,000</i>					
<i>Mobile Training Tower</i>		<i>\$100,000</i>					Used regional unit
<i>Forcible Entry Prop (South Districts)</i>		<i>\$68,000</i>					
<i>Mechanics Equipment & tools</i>		<i>\$30,000</i>					
Zoll X Series Monitors			\$84,000	\$86,000	\$88,000	\$90,000	
<i>Stryker Gurner & Autoloader</i>		<i>\$60,000</i>					
<i>SCBA Replacement & Additions</i>		<i>\$120,000</i>					
SCBA Compressor FS # 71		\$62,000					
		\$465,000	\$84,000	\$152,000	\$158,000	\$90,000	

	2024/2025	2025/2026	2026/2027	2027/2028	2028/2029	2029/2030
Total	\$11,632,000	\$10,573,000	\$12,535,000	\$29,180,000	\$11,363,000	\$490,000

*Items in **RED** and *Italicized* are newly added and have not been presented or received board approval.

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2025/2026 Capital Requests

Strategy 1: Acquisition of a Type 3 Engine

As part of the District-wide initiative to replace aging apparatus, the Storey County Fire Protection District seeks the acquisition of a new Type 3 wildland brush engine to replace the 2002 model (B71). This acquisition will modernize the fleet, ensuring operational readiness and enhanced wildfire response capabilities. The purchase will be part of the FY 2025/2026 budget, with an estimated cost of \$525,000, addressing the critical need to phase out older units and maintain reliability in our fleet.

Objectives

- Objective 1: Fleet Modernization**
Replace the aging 2002 Type 3 brush engine (B71) with a new unit, ensuring the fleet remains equipped to handle wildfire incidents efficiently and safely.
- Objective 2: Ensure Operational Readiness**
Improve response capabilities by replacing outdated equipment that is at increased risk of mechanical failure, ensuring that frontline apparatus is always reliable and available for deployment.
- Objective 3: Minimize Long-Term Maintenance Costs**
By replacing older units, the District will reduce maintenance and repair costs associated with outdated apparatus, which often require more frequent service and part replacements.
- Objective 4: Improve Wildland Firefighting Capabilities**
The addition of a new Type 3 engine will provide the District with improved technology and firefighting capabilities, enhancing safety for personnel and increasing efficiency during wildland firefighting operations.

Justification

The 2002 Type 3 wildland brush engines are nearing the end of their service life. Replacing these units is essential to maintaining reliable and safe firefighting capabilities. This replacement will leave only one older engine in service, significantly reducing the risk of downtime due to mechanical issues.

As wildland fires continue to present significant threats, having a dependable and modernized fleet is critical. The new engine will ensure that the District is prepared to respond quickly and effectively to wildfires, especially in high-risk areas of the community.

While the upfront cost of the new engine is \$525,000, this investment will reduce the ongoing maintenance expenses incurred by the aging apparatus, leading to long-term cost savings for the District.

Due to ongoing market disruptions and supply chain delays, the projected delivery date for the new engine is 2028. Planning for this acquisition now ensures the District secures the necessary apparatus to maintain its operational capabilities in the future.

Implementation Timeline

- **FY 2025/2026:** Request funding for the new Type 3 engine as part of the FY 2025/2026 budget.
- **2025:** Begin procurement process for the engine, accounting for potential supply chain disruptions and market volatility.
- **2028:** Anticipated delivery of the new engine, with the remaining older Type 3 engine continuing to serve until the new unit is fully operational.

Strategy 2: Acquisition of a Mechanic Service Truck

To enhance fleet maintenance and operational efficiency, the Storey County Fire Protection District proposes the acquisition of a dedicated mechanic service truck. This vehicle will support the work of a mobile mechanic, who will supplement services provided by the County shop. The service truck will allow the mechanic to perform on-site maintenance and repairs at fire stations, reducing vehicle downtime and conserving manpower.

Objectives

1. Objective 1: Reduce Vehicle Downtime

Equip the mobile mechanic with a fully outfitted service truck to conduct on-site repairs and routine maintenance, reducing the time vehicles spend out of service and improving overall fleet readiness.

2. Objective 2: Enhance Operational Efficiency

By allowing the mechanic to service vehicles at fire stations, the District will conserve manpower and avoid the logistical challenges associated with transporting vehicles to a centralized location, enabling quicker turnaround times for repairs and maintenance.

3. Objective 3: Supplement County Shop Services

The mechanic service truck will supplement, not replace, the services currently provided by the County shop. This collaboration will help alleviate the burden on the County shop and streamline the workload for both entities, ensuring that both Fire District and County vehicles are maintained efficiently.

4. Objective 4: Improve Maintenance Coverage for Growing Fleet

As the District's fleet continues to expand, the mobile mechanic and service truck will help meet the increased demand for regular maintenance and emergency repairs, ensuring that all vehicles remain in peak operating condition.

Justification

With the expansion of the District and the acquisition of new vehicles and equipment, the demand for maintenance and repairs has significantly increased. The mechanic service truck will allow the District to keep pace with the growing fleet, reducing the strain on existing resources.

The service truck will enable the mobile mechanic to perform repairs and preventive maintenance at the stations where vehicles are stationed. This reduces the amount of time vehicles are out of service and eliminates the need to transport equipment to centralized locations, conserving resources and ensuring quicker repairs.

The mechanic and service truck will work in collaboration with the County shop, providing additional capacity without replacing existing services. This will help balance the workload

between the two entities and ensure timely maintenance for all vehicles, particularly during periods of high demand.

By having a mobile mechanic equipped with a service truck, the District will be better positioned to address the needs of its growing fleet. This will improve the overall readiness of the vehicles and equipment, enhancing the District's ability to respond to emergencies efficiently.

Implementation Timeline

- **FY 2025/2026:** Request funding for the acquisition of a fully equipped mechanic service truck as part of the FY 2025/2026 budget.
- **Early 2026:** Upon approval, purchase and equip the service truck for the mobile mechanic.
- **Ongoing:** Monitor the effectiveness of the mobile mechanic and service truck in reducing vehicle downtime and improving fleet maintenance efficiency. Adjust resources as necessary to ensure continued operational improvements.

Strategy 3: Acquisition of a Side-by-Side UTV for the Wildland Division

As part of the Storey County Fire Protection District's ongoing initiative to enhance the operational capabilities of the Wildland Division, the District seeks to acquire a side-by-side Utility Terrain Vehicle (UTV). This vehicle, with an estimated cost of \$55,000 (including necessary outfitting), will serve as a critical tool for supporting wildland fire suppression, hazardous fuels reduction projects, and wildland staff mobility across difficult terrain.

The UTV will be included in the FY 2025/2026 budget to address the need for versatile and efficient transport within the District's Wildland Division, increasing the effectiveness and reach of its fire mitigation and fuels management efforts.

Objectives

- 1. Objective 1: Enhance Fuels Reduction and Management Operations**
The side-by-side UTV will provide SCFPD with a reliable and versatile vehicle to support hazardous fuels reduction projects in hard-to-access areas, improving the District's ability to mitigate wildfire risks.
- 2. Objective 2: Improve Staff and Equipment Mobility**
The UTV will facilitate the transportation of wildland staff and equipment to project sites, allowing rapid deployment in challenging terrain and reducing the reliance on larger, less efficient vehicles.
- 3. Objective 3: Increase Wildland Fire Suppression Capabilities**
The UTV will enhance the Wildland Division's ability to quickly respond to emerging wildland fire incidents, transporting essential tools, equipment, and personnel directly to the fire line.
- 4. Objective 4: Support Public Outreach and Community Projects**
The UTV will also be used in community engagement efforts, supporting public outreach programs such as fuels reduction education, Ready, Set, Go! campaigns, and You Call We Haul services.

Justification

The acquisition of a side-by-side UTV is essential to SCFPD's ongoing hazardous fuels reduction efforts and wildland fire suppression capabilities. The UTV's design enables access to remote areas that are difficult to reach with traditional vehicles, ensuring that personnel and equipment can be deployed efficiently and effectively.

This vehicle will significantly enhance the mobility of the Wildland Division, reduce reliance on older apparatus, and improve the District's ability to manage high-risk fuels in difficult-to-access areas. Additionally, the UTV will provide long-term cost savings by minimizing wear and tear on larger vehicles and reducing downtime associated with transporting staff and equipment.

The estimated upfront cost of \$55,000 represents a valuable investment that will improve operational efficiency, ensure quicker deployment in emergency situations, and reduce long-term maintenance expenses by decreasing reliance on the oldest vehicles in the fleet.

Implementation Timeline

- **FY 2025/2026:** Include funding for the side-by-side UTV in the FY 2025/2026 budget.
- **Early 2025:** Begin the procurement process, specifying necessary features (e.g., off-road capabilities, firefighting attachments) to ensure the vehicle meets the Wildland Division's operational requirements.
- **Mid-2025:** Complete outfitting of the UTV and conduct staff training to maximize its usage in fuels reduction and wildland fire suppression efforts.

DRAFT

Strategy 4: Replacement of Water Tender #73

As part of SCFPD's ongoing fleet modernization initiative, the replacement of Water Tender #73, a 1981 International, is proposed. This vehicle has served SCFPD for decades but has reached the end of its operational life, with frequent maintenance needs and limited reliability. The replacement water tender, with an estimated cost of approximately \$375,000, will ensure continued support for SCFPD's firefighting capabilities, particularly in areas where hydrant access is limited or unavailable. This acquisition is planned for inclusion in the FY 2025/2026 budget.

Objectives

1. **Objective 1: Improve Water Supply Reliability for Firefighting Operations** Equip SCFPD with a modern water tender that ensures a dependable and sufficient water supply in areas lacking hydrant access, critical for wildfire and structural fire response.
2. **Objective 2: Enhance Operational Efficiency and Reduce Downtime** Replace the aging water tender to decrease repair costs, reduce downtime, and enhance the overall reliability and readiness of SCFPD's water supply resources.
3. **Objective 3: Increase Safety for Operators and Personnel** Provide SCFPD with a vehicle equipped with modern safety features, reducing risks associated with operating an outdated water tender during high-stakes fire response situations.
4. **Objective 4: Support Regional Firefighting Capabilities and Mutual Aid** Strengthen SCFPD's water supply resources to support both local and regional firefighting operations, reinforcing mutual aid efforts and ensuring efficient resource deployment across incidents.

Justification

The replacement of Water Tender #73 is essential to maintaining SCFPD's firefighting effectiveness, particularly in remote or rural areas where water supply is critical. The 1981 International has become increasingly unreliable, with repair costs rising as it ages. A new water tender, with an estimated cost of \$375,000, will enhance SCFPD's capacity to deliver a continuous water supply, supporting fire suppression efforts and improving overall safety.

Investing in a new water tender aligns with SCFPD's fleet modernization goals, ensuring that frontline equipment meets operational and safety standards. The enhanced reliability will decrease the likelihood of mechanical issues during incidents, providing greater confidence in SCFPD's firefighting resources and allowing the District to respond effectively to fires both within Storey County and in mutual aid contexts.

Implementation Timeline

- **FY 2025/2026:** Allocate budget for the replacement of Water Tender #73 in the FY 2025/2026 budget.

- **2025:** Initiate procurement process, specifying essential features for water supply reliability, operator safety, and compatibility with SCFPD's operational requirements.

DRAFT

Strategy 5: Acquisition of Fire Vent Mobile Training Prop and Forcible Entry Prop

To enhance on-site training capabilities within Storey County, SCFPD proposes the acquisition of a Fire Vent mobile training prop and a Forcible Entry prop with a combined budget not to exceed \$213,000. The Fire Vent trailer, being mobile, can be transported to various fire stations throughout the district, allowing flexible, location-based training. The Forcible Entry prop is a semi-fixed facility trainer that can be easily relocated as needed. By investing in these training resources, SCFPD can significantly reduce downtime and reliance on the Carson City training center, thereby saving time and costs associated with off-site training.

Objectives

1. **Objective 1: Enhance In-District Training Capabilities** Provide SCFPD personnel with on-site access to specialized training props, ensuring consistent skill development and reducing dependency on external training facilities.
2. **Objective 2: Improve Operational Readiness** Facilitate frequent, realistic training in critical skills such as ventilation and forcible entry, essential for preparing personnel to respond effectively to structural fires and emergency situations.
3. **Objective 3: Reduce Training Costs and Downtime** Minimize travel and associated costs by conducting more training within the county, allowing personnel to maintain operational readiness with less time spent off-site.
4. **Objective 4: Increase Training Accessibility Across Stations** Utilize the mobility of the Fire Vent trailer to ensure all fire stations have access to essential training tools, fostering district-wide competency and standardization in key fireground skills.

Justification

Currently, SCFPD relies heavily on the Carson City training center for specialized skill development in ventilation and forcible entry. This dependence incurs additional costs, travel time, and scheduling challenges, which can impact operational readiness. Acquiring a Fire Vent mobile training prop and a Forcible Entry prop will allow SCFPD to conduct essential training sessions in-district, increasing training frequency and flexibility while decreasing downtime and costs.

The Fire Vent trailer's mobility offers flexibility, allowing training to be conducted at multiple locations to accommodate all personnel. The Forcible Entry prop, though semi-fixed, is designed to be easily relocated, supporting adaptability in training setups. By having these training tools available in Storey County, SCFPD will maximize training efficiency and support continuous skills development across the District.

Implementation Timeline

- **FY 2025/2026:** Allocate funding for the acquisition of the Fire Vent mobile training prop and the Forcible Entry prop within the FY 2025/2026 budget.

- **Early 2025:** Begin procurement process for both training props, ensuring they meet SCFPD specifications and training requirements.
- **Mid-2025:** Deploy the props across district stations, ensuring readiness for immediate use and scheduling initial training sessions.
- **Ongoing:** Assess training outcomes and monitor the props' effectiveness in meeting SCFPD's training goals, adjusting resources and training programs as needed.

DRAFT

Strategy 6: Acquisition of a Used Mobile Training Tower

To enhance in-district training capabilities and improve operational readiness across Storey County, SCFPD proposes the acquisition of a used Mobile Training Tower with a budget not to exceed \$100,000, including refurbishment costs. The Mobile Training Tower will provide a versatile, on-site training resource for fire personnel, allowing realistic, scenario-based training in various fireground operations, including ventilation, ladder operations, hose advancement, and forcible entry. This investment will reduce reliance on external training centers and increase accessibility to essential training tools for all SCFPD personnel.

Objectives

- 1. Objective 1: Enhance In-District Training Capabilities**
Provide SCFPD personnel with a fully equipped Mobile Training Tower to conduct on-site, scenario-based training exercises, ensuring consistent skill development without the need to travel to external facilities.
- 2. Objective 2: Improve Operational Readiness**
Facilitate frequent, realistic training in fireground operations, including vertical ventilation, ladder placement, hose advancement, and rescue techniques, essential for preparing personnel to respond effectively to emergencies.
- 3. Objective 3: Reduce Training Costs and Downtime**
Minimize travel time and costs associated with using external training centers by conducting more training sessions within the county, allowing personnel to maintain operational readiness while reducing downtime.
- 4. Objective 4: Increase Training Accessibility Across Stations**
Utilize the mobility of the training tower to ensure all district stations have regular access to essential training tools, fostering district-wide competency and standardization in fireground skills.

Justification

Currently, SCFPD relies on external training centers for specialized skill development, particularly in fireground operations such as ventilation and rescue techniques. This reliance incurs additional travel costs, scheduling challenges, and time away from stations, which can impact operational readiness.

Acquiring a used Mobile Training Tower will allow SCFPD to conduct essential training sessions in-district, increasing the frequency, flexibility, and accessibility of critical training exercises. The mobile nature of the tower provides the flexibility to conduct training at multiple locations throughout the county, ensuring that all personnel receive consistent and standardized training.

This investment will support continuous skills development while reducing overall training costs and downtime. Refurbishing a used training tower offers a cost-effective solution to improve training infrastructure without the need for a new, higher-cost facility.

Implementation Timeline

- **FY 2025/2026:** Allocate funding for the acquisition and refurbishment of the Mobile Training Tower in the FY 2025/2026 budget.
- **Early 2025:** Begin the procurement process for a used training tower, ensuring it meets SCFPD's specifications and operational requirements.
- **Mid-2025:** Complete refurbishment and deploy the Mobile Training Tower across district stations, ensuring readiness for immediate use and scheduling initial training sessions.
- **Ongoing:** Monitor training outcomes and evaluate the tower's effectiveness in meeting SCFPD's training goals, making adjustments as needed to optimize its use.

2025-2030 Storey County Fire Protection District Staffing Improvement Plan.

Staffing	2024/2025	2025/2026	2026/2027	2027/2028	2028/2029	2029/2030	Notes
Firefighter/AEMT FS# 73 (X3)					\$520,000		Possible FEMA SAFER Grant
Firefighter/Medic FS# 73 (X3)					\$570,000		Possible FEMA SAFER Grant
Battalion Chiefs (North Districts X3)						\$820,000	
Captain FS# 74 (X3)		\$705,000					Brings 74 to 3-Person Staffing
Captain FS# 72 (X3)			\$715,000				Brings 72 to 3-Person Staffing
Firefighter/AEMT FS# 77 (X3)						\$530,000	Possible FEMA SAFER Grant
Firefighter/Medic FS# 77 (X3)						\$570,000	Possible FEMA SAFER Grant
Fire Captain FS# 77 (X3)						\$710,000	Possible FEMA SAFER Grant
Training Officer (Captain)		\$235,000					
<i>Finance Officer</i>		<i>\$175,000</i>					
Fire Mechanic		\$165,000					
Total	\$660,000	\$1,270,000	\$715,000	\$0	\$1,090,000	\$2,630,000	

*Positions in **Red** and *Italicized* have been added and will require Board of Fire Commissioner approval.

**Costs associated with each position are estimates and exact amounts will be provided within the budget at the time of approval.

2025/2026 Staffing Requests

Strategy 1. Proposal to Hire a Dedicated Fire District Mechanic

The Storey County Fire Protection District will hire a dedicated mechanic to assume full responsibility for the maintenance, repair, and service of the District's growing fleet of vehicles and equipment. Starting January 1, 2026, the Fire District will no longer utilize the Storey County Shop for maintenance or repair services. This transition will enhance fleet management, reduce operational costs, and ensure the District's emergency response capabilities remain at optimal levels.

- Objective 1: Improve Fleet Maintenance and Reliability**
By hiring a dedicated mechanic, the Fire District will ensure that all vehicles and equipment receive regular, scheduled maintenance. This will reduce downtime, improve operational readiness, and prevent the high costs associated with deferred repairs.
- Objective 2: Transition Away from County Shop Services.**
Ending reliance on the Storey County Shop will allow the Fire District to establish full autonomy over fleet maintenance. This will eliminate delays caused by competing priorities and streamline repair processes, ensuring vehicles and apparatus remain ready for deployment.
- Objective 3: Reduce Maintenance Costs**
The addition of an in-house mechanic will decrease reliance on external repair services, minimizing downtime and lowering overall maintenance expenses for the District. Being mobile will also assist the district in reducing costs by eliminating the use of additional staff in relocating apparatus between the shop and the stations.
- Objective 4: Optimize Fleet Management Practices.** Implement a tailored fleet management system that prioritizes preventive maintenance, tracks repair schedules, and ensures the long-term reliability of the Fire District's growing fleet.

Justification

- Growing Fleet Needs**
The Fire District's fleet has grown significantly over the last several years with the addition of specialized apparatus, heavy equipment, and auxiliary vehicles. The demands of maintaining this diverse and expanding inventory now require consistent attention to ensure both reliability and quick response to emergency needs.
- Relieving Burden on the Storey County Shop**
Currently, the Storey County Shop provides maintenance support for Fire District vehicles, creating a strain on their resources. Hiring a dedicated mechanic for the Fire District will help alleviate this burden and allowing County Shop personnel to focus on other County vehicles and infrastructure needs. This will also reduce wait times for repairs, improving vehicle uptime and emergency response capacity.
- Enhanced Fleet Management**
A full-time mechanic would allow for better scheduling of preventive maintenance, reducing the likelihood of costly repairs due to neglect or deferred maintenance. By ensuring our equipment remains in optimal condition, we can improve operational efficiency, reduce downtime, and extend the lifespan of our fleet.

4. **Cost Savings**

The District anticipates that having an in-house mechanic will help reduce overall maintenance costs. External repair services and long downtimes contribute to higher expenses and operational inefficiencies. A dedicated mechanic will mitigate these factors and provide long-term savings through consistent, on-demand service.

Implementation Timeline

- **FY 2024/2025:** Conduct a workload and fleet maintenance assessment in collaboration with the Storey County Shop.
- **Early FY 2025/2026:** Hire and onboard a qualified mechanic with expertise in emergency apparatus and specialized equipment.
- **January 1, 2026:** Cease reliance on Storey County Shop for vehicle maintenance and repair services. All maintenance operations will transition fully to the Fire District's in-house mechanic.
- **Ongoing:** Regular performance reviews to ensure the mechanic is effectively managing workload, reducing vehicle downtime, and providing cost-saving benefits.

Strategy 2: Captains at Fire Station 74

In the FY 2023/2024 budget year, the Storey County Fire Protection District received approval to hire three Firefighter/AEMTs, with the potential to hire an additional three if awarded the FEMA SAFER Grant. This staffing increase aligns with the District's strategic objective of enhancing operational readiness and improving staffing levels across our stations, focusing particularly on bringing Station 74 to full staffing capacity. Three current staff members will be promoted to the position of Captain to create these firefighter vacancies.

Objectives

1. **Objective 1: Increase Staffing at Fire Stations 71 and 74**
Hire three new Firefighter/AEMTs and an additional three with the option of securing a FEMA SAFER Grant to meet operational needs and enhance emergency response capabilities. Not completely dependent on SAFER award.
2. **Objective 2: Conduct Comprehensive Training for New Hires**
Ensure that all newly hired Firefighter/AEMTs successfully complete a 14-week regional academy training in Carson City, equipping them with the skills necessary to perform effectively in the field.
3. **Objective 3: Promote Leadership within the Fire District**
Upon securing the additional staffing at Station 74, promote qualified personnel to Captain positions to maintain effective leadership and oversight of the expanded team.
4. **Objective 4: Improve Staffing Levels Across the District**
Bring the majority of fire stations, including Stations 71 and 74, from two-person to three-person staffing, enhancing operational capacity and ensuring a more robust emergency response.

Justification

1. **Enhanced Operational Capacity**
Increasing staffing at Stations 71 and 74 will significantly improve the District's capacity to respond to emergencies efficiently and safely. This aligns with the overall goal of improving staffing levels across the District to meet the increasing demand for services.
2. **Alignment with Strategic Staffing Goals**
This initiative supports the District's long-term staffing strategy by moving toward the industry-standard three-person staffing model at key stations, enhancing response times and operational effectiveness.
3. **Potential Grant Funding through FEMA SAFER**
The District is actively pursuing the FEMA SAFER Grant, which will allow for the hiring of additional personnel without placing undue financial strain on the District. Securing these funds would enable the assignment of three additional line staff to Fire Station 74, further strengthening our response capacity.

4. **Leadership Development and Promotions**

Expanding the team at Station 74 will necessitate promotions to Captain positions, ensuring that experienced leadership is in place to effectively manage the growing team and maintain operational excellence.

Implementation Timeline

- **July 2025:** Conduct testing for Firefighter/AEMT and Captain positions in August 2024.
- **Fall 2024:** Newly hired candidates will undergo a 14-week regional academy training in Carson City.
- **Ongoing:** Promote qualified personnel to Captain positions at Station 74 to maintain effective leadership.

Strategy 3: Hiring a Finance Officer

As part of the SCFPD strategic initiative to enhance financial oversight, transparency, and autonomy, SCFPD seeks to hire a dedicated Finance Officer. This role will ensure that SCFPD's financial management aligns with the specialized demands of the fire service, improving budgetary control, reporting accuracy, and fiscal planning. The Finance Officer position will be included in the FY 2025/2026 budget, with an estimated annual salary and benefits package of \$185,000. This move supports SCFPD's goals of maintaining independence from the County Comptroller's Office, allowing the District to tailor financial practices to its operational needs.

Objectives

1. **Objective 1: Improve Financial Oversight and Accountability**

A dedicated Finance Officer will provide direct oversight of SCFPD's finances, ensuring timely, transparent reporting and strengthening internal financial controls to support the District's long-term financial health.

2. **Objective 2: Enhance Budgetary Control and Planning**

The Finance Officer will oversee budget preparation, management, and adjustments tailored to SCFPD's specific operational and strategic goals, supporting accurate forecasting and efficient resource allocation.

3. **Objective 3: Increase Financial Independence from the County Comptroller's Office**

By hiring a dedicated Finance Officer, SCFPD will reduce its reliance on the County Comptroller, allowing for quicker decision-making, customized reporting, and better alignment with SCFPD's unique fiscal requirements.

4. **Objective 4: Support Strategic Financial Initiatives**

The Finance Officer will lead initiatives to secure grants, manage capital projects, and oversee compliance with financial regulations, enabling SCFPD to pursue growth while ensuring adherence to fiscal policies and procedures.

Justification

1. **Specialized Financial Oversight**

SCFPD's financial needs are distinct, with a focus on funding capital projects, securing grants for wildland firefighting and community risk reduction, and managing a diverse budget covering operational costs, emergency response, and training. A dedicated Finance Officer with expertise in fire service budgeting will provide tailored oversight and streamline these processes.

2. **Operational Independence and Efficiency**

As SCFPD's operations grow, dependence on the County Comptroller's Office can lead to increased burdens on the County Comptroller's Office and delays in budget adjustments, and modifications to payroll processing. An in-house Finance Officer will ensure SCFPD can respond swiftly to financial needs, especially during emergencies or project-based funding requests.

3. Enhanced Compliance and Financial Integrity

A dedicated Finance Officer will bring direct accountability for adhering to fire-specific grant requirements, budgeting standards, and audit protocols. This role will mitigate compliance risks and enhance financial integrity through regular audits, risk assessments, and policy reviews customized to SCFPD's operations.

4. Improved Budget Management and Planning

With direct oversight, the Finance Officer can monitor specific SCFPD spending trends, support cost-saving initiatives, and improve budget forecasting based on SCFPD's operational data. This enhanced planning will allow SCFPD to strategically allocate funds to meet both immediate and long-term needs.

Implementation Timeline

- **FY 2025/2026:** Include funding for the Finance Officer position in the FY 2025/2026 budget.
- **Q1 2025:** Develop the job description, qualifications, and recruitment strategy, focusing on candidates with experience in municipal or fire service finance.
- **Q2 2025:** Begin recruitment and selection process to hire a qualified Finance Officer.
- **Q3 2025:** Onboard the Finance Officer, with initial responsibilities including budget planning for the upcoming fiscal year and streamlining financial processes to support SCFPD's operational goals.

Strategy 4: Establishing Promotional Opportunities for Fire Inspector I Positions to Promote to Fire Inspector II

As part of the Storey County Fire Protection District's commitment to career development and retention, the District proposes creating a promotional pathway for current Fire Inspector I employees to advance to Fire Inspector II positions. This initiative will recognize the expertise and dedication of current personnel, encourage professional growth, and improve inspection capabilities within the District.

This promotional opportunity will be offered to two eligible Fire Inspector I employees with an estimated 10% salary increase upon promotion. This plan will be included in the FY 2025/2026 budget to support SCFPD's ongoing commitment to internal advancement and succession planning.

Objectives

- 1. Objective 1: Encourage Career Development and Retention**
Providing a clear promotional pathway for Fire Inspector I personnel will encourage long-term commitment to the District, reduce turnover, and foster a culture of professional growth.
- 2. Objective 2: Strengthen Inspection and Code Enforcement Capabilities**
Promoting experienced Fire Inspectors will enhance the District's ability to perform critical inspections, enforce fire codes, and provide education to the community, improving overall fire prevention efforts.
- 3. Objective 3: Improve Operational Efficiency**
By promoting internal candidates who are already familiar with SCFPD's operations, policies, and community needs, the District will reduce training time and ensure continuity in inspection services.
- 4. Objective 4: Support Succession Planning**
Creating advancement opportunities for Fire Inspectors supports long-term succession planning, ensuring that the District has qualified personnel ready to take on higher-level responsibilities in the future.

Justification

- 1. Professional Growth and Retention**
SCFPD recognizes the importance of providing career advancement opportunities to its employees. Offering internal promotions demonstrates the District's commitment to retaining talented personnel by recognizing their skills, certifications, and contributions.
- 2. Enhanced Code Enforcement and Community Risk Reduction**
Promoting Fire Inspectors will improve the District's capacity to perform fire code enforcement, plan reviews, and inspections, contributing to community risk reduction and ensuring compliance with fire safety standards.
- 3. Cost-Effective Solution**
Promoting internal candidates is a cost-effective way to fill higher-level positions. The

proposed salary increase of approximately 10% for two positions represents a manageable budget adjustment while ensuring the District retains experienced personnel.

4. **Continuity of Service**

Internal promotions provide continuity within the District's operations. Employees who are already familiar with SCFPD's processes, policies, and community risks can transition seamlessly into higher roles, ensuring uninterrupted service delivery.

Implementation Timeline

- **FY 2025/2026:** Include funding for Fire Inspector II promotions in the FY 2025/2026 budget.
- **Q2 2025:** Notify eligible employees of the promotional opportunity and begin the review and evaluation process.
- **Q3 2025:** Complete the promotion process and adjust salaries accordingly.
- **Q4 2025:** Conduct onboarding and additional training for promoted Fire Inspectors to ensure a smooth transition into their new roles.



Storey County Board of Fire Commissioners Agenda Action Report

Meeting date: March 18th 2025

Estimate of time required: 5 minutes

Agenda: Consent [] Regular agenda [X] Public hearing required []

1. **Title:** DISCUSSION/POSSIBLE ACTION: Discussion and possible approval to sign a purchase agreement for a Skeeter Ford F-550 Type 5 quick attack Fire Engine, that is entirely funded by Switch Inc.
2. **Recommended motion:** I (Fire Commissioner) move to approve the purchase of a Skeeter Ford F-550 Type 5 quick-attack Fire Engine with a 100% reimbursement from Switch Inc. The Storey County Fire Protection District will receive payment from Switch Inc. before signing a purchase contract.

3. **Prepared by:** Jim Morgan

Department: Fire

Telephone: 847-0954

4. **Staff summary:** To support SCFPD’s operational needs through a partnership with Switch Inc. has offered to purchase a Skeeter Ford F-550 Type 5 quick-attack Fire Engine for SCFPD. This quick-attack Fire Engine will enhance our capabilities to extinguish lithium-based fires within Storey County. By having a smaller mobile piece of equipment SCFPD will have an additional 150 gallons of F-500 foam encapsulator to quickly and effectively extinguish lithium-based fires as well as hydrocarbon fires.

5. **Supporting materials:** See attached

6. **Fiscal impact:** None

a. Funds Available: Fund: Comptroller: ____

7. **Legal review required:** N/A
____ District Attorney

8. **Reviewed by:**
a. ____ Department Head Fire District

Other agency review:

9. **Board action:**
a. [] Approved [] Approved with Modifications
b. [] Denied [] Continued

Agenda Item No. _____

Siddons Martin Emergency Group, LLC
 3033 Waltham Way
 Sparks, NV 89434
 DLR000050870



January 31, 2025

**STOREY COUNTY FIRE PROTECTION
 DISTRICT
 145 NORTH C ST
 VIRGINIA CITY, NV 89440**

Proposal For: 2025 Storey Co. Duplicate Skeeter

Siddons-Martin Emergency Group, LLC is pleased to provide the following proposal to STOREY COUNTY FIRE PROTECTION DISTRICT. Unit will comply with all specifications attached and made a part of this proposal. Total price includes delivery FOB STOREY COUNTY FIRE PROTECTION DISTRICT and training on operation and use of the apparatus.

Description	Amount
<hr/>	
Qty. 1 - 2516 - Skeeter Ford F 550 Type 5 Flat Bed - Non-Lifted (Unit Price - \$354,271.00)	
Delivery within 35-36 months of order date	
QUOTE # - SMEG-0009042-0	
Vehicle Price	\$354,271.00
2516 - UNIT TOTAL	\$354,271.00
<hr/>	
SUB TOTAL	\$354,271.00
HGAC FS12-23 (SKEETER)	\$1,000.00
TOTAL	\$355,271.00

Price guaranteed until 3/31/2025. Includes delivery and four days training at your location.

Additional: 'Due to global supply chain constraints, any delivery date contained herein is a good faith estimate as of the date of this order/contract, and merely an approximation based on current information. Delivery updates will be made available, and a final firm delivery date will be provided as soon as possible.

Taxes: Tax is not included in this proposal. In the event that the purchasing organization is not exempt from sales tax or any other applicable taxes and/or the proposed apparatus does not qualify for exempt status, it is the duty of the purchasing organization to pay any and all taxes due. Balance of sale price is due upon acceptance of the apparatus at the factory.

Late Fee: A late fee of .033% of the sale price will be charged per day for overdue payments beginning ten (10) days after the payment is due for the first 30 days. The late fee increases to .044% per day until the payment is received. In the event a prepayment is received after the due date, the discount will be reduced by the same percentages above increasing the cost of the apparatus.

Cancellation: In the event this proposal is accepted and a purchase order is issued then cancelled or terminated by Customer before completion, Siddons-Martin Emergency Group may charge a cancellation fee. The following charge schedule based on costs incurred may be applied:

- (A) 10% of the Purchase Price after order is accepted and entered by Manufacturer;
- (B) 20% of the Purchase Price after completion of the approval drawings;
- (C) 30% of the Purchase Price upon any material requisition.

The cancellation fee will increase accordingly as costs are incurred as the order progresses through engineering and into manufacturing. Siddons-Martin Emergency Group endeavors to mitigate any such costs through the sale of such product to another purchaser; however, the customer shall remain liable for the difference between the purchase price and, if applicable, the sale price obtained by Siddons-Martin Emergency Group upon sale of the product to another purchaser, plus any costs incurred by Siddons-Martin to conduct such sale.

Acceptance: In an effort to ensure the above stated terms and conditions are understood and adhered to, Siddons-Martin Emergency Group, LLC requires an authorized individual from the purchasing organization sign and date this proposal and include it with any purchase order. Upon signing of this proposal, the terms and conditions stated herein will be considered binding and accepted by the Customer. The terms and acceptance of this proposal will be governed by the laws of the state of Nevada. No additional terms or conditions will be binding upon Siddons-Martin Emergency Group, LLC unless agreed to in writing and signed by a duly authorized officer of Siddons-Martin Emergency Group, LLC.

Sincerely,
Thom Kowatch



I, _____, the authorized representative of STOREY COUNTY FIRE PROTECTION DISTRICT, agree to purchase the proposed and agree to the terms of this proposal and the specifications attached hereto.

Signature & Date



Specification for:

C-3460 (Ford F550 - 4x4 - Diesel - 4 Door - 60" CA)

Submitted To:
Jeremy Loncar
Storey County Fire
145 N C St. Virginia City, NV 89440

Specification **2516**
01/30/2025

Prepared by:
Thom Kowatch
Siddons-Martin Emergency Group



C-3460 FORD F550 - 4X4 - DIESEL - 4 DOOR - 60" CA

One (1) FORD F-550, two axle drive 4x4, dual rear wheels (DRW), four (4) door, XL, Crew Cab chassis.

Measurements / Capacities:

Cab to Axle: 60 inch

Fuel tank size: 40 US Gallon

Wheelbase: 179 inches

D.E.F Tank Size: 7.4 US Gallon

Weight Ratings:

GVWR: 19,500 LBS

Front GAWR: 7,500 LBS

Rear GAWR: 14,706 LBS

Engine:

Powerstroke 6.7L Diesel V8 OHV

Intercooled Turbo

330 HP at 2,600 RPM

825 ft.-lbs. of torque at 2,000 RPM

Transmission:

TorquShift 10 speed automatic transmission with overdrive.

PTO Provision

Axles:

Front Axle: 7,500 LBS HD front package, stabilizer bar, front shocks, auto locking front hubs with a manual backup feature.

Rear Axle: 14,706 LBS HD rear package, stabilizer bar, rear shocks.

Differential gearing: 4.10 gears, limited slip

Electric Shift on the Fly transfer case.

Wheels:

Factory tires: 225/70/R19.5, radial all-weather tread.

Front wheels: two (2) 19.50" x 6" steel disc, ten (10) hole pattern steel wheels

Rear wheels: four (4) 19.50" x 6" steel disc, ten (10) hole pattern dual rear wheels.

Electrical System:

One (1) alternator 240 amp, 12-volt
Two (2) 12-volt, 750 CCA, 78-amp hour batteries
AM/FM Stereo with MP3 Player with fixed antenna
Upfitter Switches
Upfitter Interface Module
Operator controlled Manual Regeneration System
Trailer Brake Controller
Trailer harness

Cab Controls:

Controls for heat, defroster, and air conditioning
Powered Door Locks
Powered Windows
Powered Mirrors
Manual tilt steering wheel: (Unless superseded below in options)

Safety / Security:

Air bags: Safety canopy system, first row and second row overhead
airbag restraint system, dual seat mounted side impact airbag
restraint system
Brakes: 4-wheel ABS, disc brakes, brake assist
Driveline traction control
Factory jack and lug nut wrench set
Factory Tow hooks

Seats:

Seating capacity: Six (6)
Front 40-20-40 HD folding split bench seat
Rear 60-40 HD folding vinyl bench seat
Manual driver lumbar support
4-way driver seat adjustment
4-way passenger seat adjustment

Miscellaneous Included Equipment:

Power Steering
Exhaust system: horizontally mounted, discharge on passenger side of
chassis aft of rear wheels.
Cooling system: protected to -30 degrees
Printed Manuals: one (1) printed chassis operation manual

Colors:

Interior color: Medium Earth Gray

Exterior cab color: Race Red
Chrome Grill with Black Insert

SP-2068 DOOR AJAR ALARM KILL SWITCH
DOOR AJAR ALARM KILL SWITCH

C-4136 60" CAB TO AXLE

The chassis Cab to Axle measurement shall be 60".

C-4272 CAB REPAINT - SPLIT - STOCK AND ONE CUSTOM COLOR

1. Cab Color: OEM Original Color
2. Cab Secondary Color: ***SPECIFY COLOR***
3. Description: ***SPECIFY PAINT LINE***

SINGLE COLOR PAINT APPLICATION

Aftermarket Paint Warranty covers defects in the applied paint for up to three years or 36,000 miles, whichever comes first.

C-3543 NONE - NO CAB STEPS

There shall be NO cab steps installed on the chassis.

C-3994 2IN LIFT KIT - FORD 4X4

A 2" chassis lift kit shall be installed.

The lift kit shall include the following:

Front Coil Springs
Front Dirt Logic 2.25 Resi Shocks
Adjustable Track Bar
Sway Bar Drop Brackets
Brake line Extension
Rear Dirt Logic 2.25 Resi Shocks

Fab Tech Kit K2334DL.

C-3481 TIRES/WHEELS - OEM TIRES AND WHEELS

Chassis will use stock tires and wheels provided by chassis manufacturer.

C-3486 NONE - NO SPARE TIRE

No spare tire shall be supplied.

C-3489 SPARE MOUNT - TOP OF TANK

The spare tire and wheel shall be mounted on top of the water tank.

C-3485 UPGRADE WHEELS TO ALUMINUM STOCK

The exposed chassis wheels shall be aluminum.

NOTE: This option is for stock OEM tires only.

C-4089 FRONT BUMPER - SKEETER ALUMINUM - NO GRILL GUARD

The factory bumper shall be removed and replaced with a custom fabricated, heavy duty aluminum bumper. It shall include fog lights mounted on the bumper.

The bumper shall have a 2" receiver mount included.

C-4695 FRONT BUMPER - DA FINISH

The front bumper shall have a DA finish.

C-3501 NONE - NO FOG LIGHTS

No additional fog lights shall be installed.

C-3497 SKID PLATE - FRONT BUMPER - 1/4IN ALUMINUM

A 1/4" (0.25") aluminum skid plate will be installed from the bumper area extending below the bumper and chassis radiator area.

C-3499 SKID PLATE - TRANSFER CASE - 1/4IN ALUMINUM

A removable heavy duty .250" aluminum skid plate assembly shall be installed to protect the oil pan and transfer case.

C-3514 FRONT WINCH - 12000LBS - WARN - FIXED

A Warn Winch Company Model #M12000 PN17801 12,000# capacity 12-volt electric powered winch shall be permanently installed at the front center bumper extension area . The unit shall include the following:

- a) 3.86 feet per minute pulling speed at 12,000# rated load
- b) 440 amps at full capacity

- c) Cable roller guide assembly
- d) 125 feet of 3/8" diameter galvanized cable and fairlead & safety hook assembly shall be supplied.
- e) Winch speed shall be constant with forward and reverse modes controlled with a push button device at the end of a 12 feet (12') minimum control cable which connects to the winch through a weatherproof receptacle.

C-4620 GALVANIZED WINCH CABLE

The Warn Winch shall come with a galvanized cable and will be installed on the winch drum. The cable shall meet or exceed the pull rating of the winch.

The winch shall have the fairlead installed for the galvanized cable.

C-5624 FRONT MOUNT, FLIP UP, ROLLER FAIRLEAD

There shall be a stainless-steel flip up license plate holder compatible with a galvanized winch cable fairlead installed on the front bumper.

C-3519 CONSOLE, ALUM/POLY, SM TRUCK

A custom fabricated DA aluminum electrical console and enclosure shall be located between the driver's and passenger's seats. It shall house the siren, switches, cup holder, map box, equipment storage, and auxiliary equipment. It shall have a custom poly faceplate. It shall extend fully to the dash and include arm rests.

C-4551 POWER OUTLETS, 12V, DUAL 4.8A USB, CAB

There shall be {quantity} Dual USB-A/USB-C power outlets rated at 4.8amps shall be provided in cab.

LOCATIONS: Determined at preconstruction.

C-4354 CONSOLE - UPGRADED FUSE BLOCK

The fuse block in the center console shall be upgraded to a 5025 100amp style fuse block. This fuse block shall be wired to the same signal as the rest of the Skeeter electrical system.

C-3533 RADIO INSTALL - 1 RADIO (CUSTOMER PROVIDED)

One (1) fire radio, one (1) faceplate (if applicable) and one (1) speaker shall be supplied by the purchaser to be installed.

THIS OPTION DOES NOT INCLUDE INSTALLATION OF ANTENNAS, CABLES, OR MDT/MCT.

ALL EQUIPMENT NECESSARY TO INSTALL/OPERATE A CUSTOMER SUPPLIED RADIO MUST BE PRESENT AT SKEETER BRUSH TRUCKS WITHIN 30 DAYS OF COMPLETED PRE-CONSTRUCT. IF ALL COMPONENTS ARE NOT PRESENT THE RADIO WILL NOT BE INSTALLED

C-4003 INSTALL RADIO ANTENNAS (ANTENNAS ONLY)

{quantityTextCapitalized} {quantity} radio antenna with cable shall be supplied by the purchaser and installed on the apparatus at a location to be determined by the purchaser.

THIS OPTION DOES NOT INCLUDE INSTALLATION OF RADIOS, OR MDT/MCT.

ALL EQUIPMENT NECESSARY TO INSTALL/OPERATE A CUSTOMER SUPPLIED RADIO MUST BE PRESENT AT SKEETER BRUSH TRUCKS WITHIN 30 DAYS OF COMPLETED PRE-CONSTRUCT. IF ALL COMPONENTS ARE NOT PRESENT THE RADIO WILL NOT BE INSTALLED

C-5180 CAMERA SYSTEM - OEM - REAR CAMERA

The apparatus will have the OEM backup camera system installed.

C-3612 REAR RECEIVER - STANDARD - WINCH/ROPE/TRAILER

The rear of the chassis shall be equipped with one (1) square steel tube receiver assembly for trailer use and winch applications. It shall be the same size as a Class III trailer hitch and shall be attached to the chassis frame assembly. The receiver shall be rated at approximately 10,000#.

The rear receiver assembly shall be equipped with two (2) heavy duty rear tow loops, one (1) each side.

C-3530 TRAILER PLUG - 12V - 7 PIN

Wiring shall be provided at the rear of the apparatus for the towing of an auxiliary trailer. A 12 volt seven (7) pin electrical connector shall be wired to the chassis stop, running, and turn lights.

SP-1940 ANTENNA TABS

Antenna Tabs

SP-1944 FULL TRAY DIVIDER

Full Tray Divider

C-4205 R200 - RSQ SQD, ALUM, 114" X 96", 60" CA

The body will be a custom fabricated severe service Rescue-Squad type, constructed of all aluminum. The body shall be 114" long by 96" wide, designed for a 60" cab to axle dimension.

FLAT-BED SUB-STRUCTURE

The body shall have 6" structural aluminum channel main frame rails. The body frame rails shall be isolated from the truck frame by .500" industrial isolators.

FLAT-BED CROSS-MEMBER SUB-STRUCTURE

The cross-members shall be 3" structural aluminum I beams with cross-members on 12" centers.

FLAT-BED MOUNTING

The body shall be bolted to the chassis frame rails at the rear end of the frame. There shall be brackets installed at the middle of the body frame to prevent side to side movement. The body shall be spring mounted at the front of the body frame. The flexible mounting system shall allow for body/chassis flexing during extreme off road conditions.

SQUARE FRONT BODY CORNERS

The front corners of the body shall be square.

HEADACHE RACK

The front of the body shall have a 2" formed aluminum tube headache rack. The rack shall extend the full width of the body and be attached to the front body corners. The assembly shall extend above the chassis cab and have mounting platform for installation of the light bar and other lights. Wiring for the lights will be placed inside the tubing for protection. The headache rack shall have four (4) vertical 2" tubes for extra strength.

SIDE BODY ACCESS STEP

There shall be a body access step assisting in access to top of the tool/hose trays from the side of the apparatus. It shall be a stirrup

design, and be fabricated from 1" aluminum tubing. They shall be installed under the front of the body, one (1) each side.

FUEL FILLER

The fuel filler tube and cap shall be installed at the driver's side, rear of the body.

FENDER PANELS

The lower portion of the flat-bed body shall have fender panels over and aft of the rear wheel panel area. The panels shall be constructed of aluminum smooth plate on all exterior surfaces. The wheel well openings will be cut out to conform to the wheels.

REAR BODY PANEL

A vertical body panel shall be installed at the rear of the body constructed of smooth aluminum. The panel shall house the running lights, taillights, back-up lights, and emergency lights. The body panel shall be angled to allow for a 30 degree angle of departure.

SIDE BODY COMPARTMENTS, FRONT BODY -- DRIVER'S AND PASSENGER'S SIDES

Two (2) body equipment storage compartments shall be installed at the front of the body just behind the headache rack, one (1) each side of the apparatus. The dimensions shall be approximately: 30" wide, 52" high, and 18" deep. The compartments shall be constructed of aluminum smooth plate on all exterior surfaces. Each compartment shall be equipped with a vertically hinged door with a single latch installed. The doors shall be equipped with gas operated door opening assistant cylinders.

TRANSVERSE COMPARTMENT

The upper portion of the front vertical compartments shall be transverse. The dimensions shall be 18" wide x 30" high x 96" deep.

SIDE UPPER BODY COMPARTMENTS

There shall be two (2) side upper body compartments, one (1) each side. The dimensions shall be approximately: 48" wide, 30" high, and 18" deep. The compartments shall be constructed of aluminum smooth plate on all exterior surfaces. Each compartment shall be equipped with dual horizontally hinged doors with a dual latches installed. The doors shall be equipped with gas operated door opening assistant cylinders.

SIDE BODY COMPARTMENTS, REAR BODY -- DRIVER'S AND

PASSENGER'S SIDES Two (2) body equipment storage compartments shall be installed at the rear of the body just behind the side upper body compartments, one (1) each side of the apparatus. The dimensions shall be approximately: 32" wide, 52" high, and 18" deep. The compartments shall be constructed of aluminum smooth plate on all exterior surfaces. Each compartment shall be equipped with a vertically hinged door with a single latch installed. The doors shall be equipped with gas operated door opening assistant cylinders. Each vertical compartment shall have one (1) fixed shelf. The compartment floors shall be lined with ventilated vinyl floor liner.

The compartments shall be equipped with:

- a swing door with latch installed
- key type door locks.
- dual gas operated door opening assistant cylinders.
- a white LED strip light that is automatically controlled by a door activated switch.
- a louvered vent

Compartment Matting shall be installed in the compartment. It shall be black in color and lock together design.

The actual door openings shall be approximately 3" smaller in dimension.

C-4466 RSQ SQUAD BODY PAINT

The exterior surface of all body skins, compartments, and trays shall all be Painted.

Color: to be determined at preconstruct

The surface shall be sanded, acid washed, acid primed, primed, and top coat painted in accordance with the paint manufacturers specifications.

The interior of all compartments shall be coated in Zolatone textured coating.

There shall be diamond plate covering the lower half front face of the body.

All Exterior welds shall be ground down, and filled with body filler.

Aftermarket Paint Warranty covers defects in the applied paint for up to three years or 36,000 miles, whichever comes first.

C-3593 REAR CENTER UNDER BODY COMPT 108"

An under body equipment storage compartment shall be installed under the flatbed surface located in the center rear of the apparatus. The compartment shall be between the vertical body beams, upper floor surface, and an aluminum lower floor area. The compartment shall be equipped with a hinged drop down door with dual latches installed. The floor shall be constructed of aluminum.

The exterior dimensions shall be approximately: 108" Deep

C-4690 DIVIDERS FOR HARD SUCTION - WITH SLIDE OUT TRAY

Two (2) dividers shall be installed on the driver's side of the rear, center, under body compartment, for storage of 8' lengths of hard suction. The dividers shall be approximately 6" apart, 5" tall, and run the depth of the compartment.

The rear center compartment shall also be equipped with an aluminum slide out tray on UHMW plastic slide pads and poly rollers. The tray shall be 17" wide and full length of the compartment interior. There shall be a retention latch installed on the tray.

C-4443.2 D/S TOOL TRAY - SOLID - 72"

A tool storage tray shall be installed over the driver side equipment compartment, on the driver side of the apparatus. The exterior dimensions shall be approximately: 16" wide, 10" high, and 96" long. The tool tray shall be constructed entirely of aluminum on all exterior surfaces. The assembly shall be equipped with a hinged, lift-up aluminum door on top, with an enclosed front panel and rear panel. There shall be a set of gas shocks installed on the lid of the tray to aid in opening and closing the tray in a safe manner. The tool tray shall be equipped with ventilated vinyl floor liner.

The actual door opening shall be approximately 3" smaller in dimension.

C-4453 P/S TOOL TRAY - SOLID - 72"

A tool storage tray shall be installed over the passenger side equipment compartment, on the passenger side of the apparatus. The

exterior dimensions shall be approximately: 16" wide, 10" high, and 72" long. The tool tray shall be constructed entirely of aluminum on all exterior surfaces. The assembly shall be equipped with a hinged, lift-up aluminum door on top, with an enclosed front panel and rear panel. There shall be a set of gas shocks installed on the lid of the tray to aid in opening and closing the tray in a safe manner. The tool tray shall be equipped with ventilated vinyl floor liner.

The actual door opening shall be approximately 3" smaller in dimension.

C-4143 TOP OF TANK STORAGE, SLOTTED ALUMINUM

An open storage rack shall be installed on top of tank. The sides of the rack shall be slotted aluminum. The unit shall be 10" high and full width and length of tank as space permits up to a 400 gallon tank.

Location: Top of Tank. RACK SHALL BE FULL PERIMETER OF TANK

C-3615.2 REAR FOLD DOWN STEP

A lighted 8" square folding step of die cast zinc shall be installed. The step shall comply with NFPA non-slip standards and shall be installed on the rear of the body. The step shall be equipped with lighting to NFPA standard.

C-3614 REAR STEP, PULL OUT

There shall be a rear "Pull-Out-Fold-Down" step located at the rear of the apparatus, step shall be stowed in a pocket under the rear of the unit. Storage pocket shall be fabricated to allow easy access to deploying for operation.

C-4193 FUEL AND DEF FILL DOORS

The fuel and DEF filler ports (if so equipped) shall have hinged doors installed.

C-4209.2 ADJUSTABLE SHELF

There shall be {quantity} adjustable shelf located in the *** Enter Location Below*** compartment constructed of smooth aluminum. There shall be adjustable tracking mounted to the wall of the compartment to allow height adjustment of the shelf. The shelf shall be no larger than 4 feet wide by 2 feet deep. The tracking shall be as long as possible to allow for max adjustment range of shelf.

QTY: {quantity}

LOCATION: TBD at the preconstruct meeting

C-4179 LONG TOOL STORAGE

There shall be two (2) vertical track mounts installed on the rear wall of the transverse compartment. The tracks shall have two (2) sections of aluminum tubing for storage of long tools. The tubes shall be adjustable, vertically.

C-4227 I-ZONE BRACKETS, SWING-OUT

Two (2) swing-out I-zone brackets will be provided and mounted at the rear of the apparatus, one (1) on each side. The brackets will be designed with adequate reinforcement to eliminate flexing of the body and not interfere with any of the rear facing lights when carrying hose. The brackets will be mounted beside the upper grab rail on the rear and as high as practical.

C-3797 NFPA COMPLIANCE

The fire apparatus shall be built to the purchaser's requirements stated in this specification in compliance with all state and federal highway safety requirements. The vehicle is designed to meet NFPA 1900.

Unless included in the specification, the customer will provide all the necessary equipment to comply with NFPA 1900.

C-5456 PRIMER, ELECTRIC, AUX PUMP, ADDITIONAL

There shall be an electric oil less primer assembly installed for the auxiliary fire pump. The electric primer assembly shall be capable of taking suction and discharging water with a lift of 10 feet in not more than 30 seconds with the pump dry, through 20 feet of suction hose of appropriate size. A vacuum test with a capped suction of at least 20' long shall develop 22" of vacuum and hold a vacuum with a drop not in excess of 10" in 5 minutes. Priming pump shall be activated by a mechanical/electric valve with a single pull control located at the pump operator's panel area.

SP-1942 PRESSURE RELIEF VALVE

Pressure Relief Valve

SP-2057 FOAM PRO POWER FILL

Foam Pro Power Fill

SP-2070 TFT INTAKE RELIEF VALVE

TFT INTAKE RELIEF VALVE

C-3634 400 GALLONS, POLY

The water tank shall have a capacity of 400 gallons.

The water tank shall be constructed of black polypropylene, poly-welded and tested inside and out. The tank manufacturer shall define the floor, top, sides, ends, and baffles material thickness. The tank shall carry a lifetime warranty.

The transverse and longitudinal swash partitions shall be interlocked and welded to each other as well as to the walls of the tank. The partitions shall be designed and equipped with vent holes to permit air and liquid movement between compartments. The tank covers shall be welded on top and bottom, and the transverse partitions, providing rigidity during fast fill operations. Drilled and tapped holes for lifting eyes shall be provided in the top area of the water tank.

The water tank manufacturer shall certify the capacity of the water tank prior to delivery of the apparatus. This capacity shall be recorded on the manufacturer's data plate.

The water tank shall be rectangular in shape and engineered for a low center of gravity.

The water tank construction shall conform to applicable NFPA standards.

A 1.5" drain plug shall be installed in the bottom of the water tank under P/S wheel well for water tank draining and flush-out of debris.

The fill tower shall incorporate a vent and overflow system shall be designed into the water tank. The system shall include a 3" diameter pipe that functions both as an air vent while emptying the tank and as an overflow when filling the tank. The overflow shall discharge excess water below the frame rails of the vehicle.

The tank fill tower shall be located in the driver's side rear corner of the water tank.

The water tank shall be equipped with translucent water level sight gauge in the rear wall of the tank.

C-3652 WATER TANK DRAIN AND VALVE, 1.5"

A 1.5" connection shall be installed in the bottom of the water tank and 1.5" gate type manually operated valve. The valve shall be controlled under the vehicle.

C-3659 WATER TANK GAUGE - REAR

A Class 1 "Intelli-Tank" water tank level gauge shall be installed on pump panel. The tank level gauge shall indicate the liquid level on an easy to read LED display and show increments of 1/8 tank. A pressure transducer mounted on the outside of the tank in an easily accessible area.

C-3656 NO -- TANK PERIMETER WALL

NO -- Tank Perimeter Wall

C-4038 PUMP DARLEY, 2.5 AGE 24K DIESEL

Darley model number 2-1/2AGE 24 K diesel powered, centrifugal portable pump shall be provided. The medium pressure, medium volume pump, gear driven, engine mounted shall meet the following performance requirements:

300 GPM @ 70 PSI
225 GPM @ 100 PSI
125 GPM @ 150 PSI
50 GPM @ 170 PSI

Pump Design

Pump casing shall be of anodized aluminum and vertically split, with a minimum tensile strength of 33,900 PSI - bronze-fitted. Pump ratio to be selected by the manufacturer's Engineering Department. Seal rings shall be renewable, double labyrinth, wrap around bronze type. Bearings are to be heavy duty, deep groove, radial-type ball bearings, oversized for long life. Bearings to be protected at all openings from road dirt and water splash with oil seals and water slingers.

The fire pump shall have a master drain at the bottom of the water

pump housing.

Mechanical Seal

The pump shall be furnished with a Darley maintenance free mechanical seal. The mechanical seal shall be a non-contacting, non-wearing seal design. Seal shall be a Silicon Carbide Mechanical seals with welded springs. The stationary face of mechanical seals shall be made from Silicon Carbide, and be extremely hard and of a heat dissipative material, which resists wear and dry running damage much better than conventional Ni-resist and Tungsten Carbide materials

Pump Shaft

Pump drive shaft shall be precision ground, heat treated alloy steel, with a 1-3/8 spline. Gears shall be helical design, and shall be precision ground for quiet operation and extended life. The pump shaft shall be splined to receive broached impeller hubs, for greater resistance to wear, torsional vibration, and torque imposed by engine, as well as ease of maintenance and repair. Pump shaft to be precision-ground 416 stainless steel.

Impeller

The impeller shall be a high strength bronze alloy, splined to the pump shaft for precision fit, durability, and ease of maintenance.

Impeller shaft oil seals shall be constructed to be free from steel components except for the internal lip spring. The impeller shaft oil seals shall carry a lifetime warranty against damage from corrosion from water and other fire-fighting fluids.

Pump Transmission

The transmission case shall be cast iron aluminum with adequate oil reserve capacity to maintain low operating temperature. Pump ratio to be selected by the manufacturer's engineering department. Gears shall be helical in design and precision ground for quiet operation and extended life. Gears to be cut from high strength alloy steel and heat treated. Gear face to be minimum of 1-1/2". Chain drive and/or design requiring extra lubricating pump is not acceptable.

The pump unit shall be supplied with a control panel for remote mounting, panel light, hour meter / tachometer, pressure gauge, on/off ignition switch, and a low oil pressure light, engine choke, engine throttle as well as a loss of water/oil pressure shut down.

Dimensions & Weight

36"L x 22"W x 26"H, 376lbs (170kg)

Suction 2.5" NPTF

Discharge (2) 1.5" NPTF or (1) 2.5" NPTF

Documentation

Pump Warranty/Guarantee to be included with each proposal. Pump warranty shall be for three (3) years. Additional details about the warranty can be found in the Skeeter user's manual of this vehicle.

Engine

Kubota D 902 Diesel: 24 HP, liquid cooled, 12 volt starter, 40 amp alternator, replaceable fuel and oil pump filters.

There shall be an electric oil less primer assembly installed for the auxiliary fire pump. The electric primer assembly shall be capable of taking suction and discharging water with a lift of 10 feet in not more than 30 seconds with the pump dry, through 20 feet of suction hose of appropriate size. A vacuum test with a capped suction of at least 20' long shall develop 22" of vacuum and hold a vacuum with a drop not in excess of 10" in 5 minutes. Priming pump shall be activated by a mechanical/electric valve with a single pull control located at the pump operator's panel area.

The auxiliary fire pump and engine assembly shall have a muffler and vertical exhaust pipe. The exhaust pipe shall be directed upward and away from the pump operator. A rain cap will be installed on the vertical exhaust outlet.

The fire pump engine shall have an oil drain line installed. It shall allow for easy oil draining.

The auxiliary fire pump shall be installed at the rear of the body. The

sub-structure shall have welded in mounting sub-plates between the structural members.

C-3890 AUX FIRE PUMP MTNG, REAR CENTER, BOLTED

The auxiliary fire pump shall be installed at the center rear of the body. The sub-structure shall have welded in mounting sub-plates between the structural members.

C-3700 PUMP ENCLOSURE, SMALL - DIESEL PUMP

The fire pump house shall be installed around the pump and engine. The enclosure shall be fabricated of aluminum. Hinged doors and access panels shall be installed for servicing of the engine.

If so equipped, the engine and pump control panel shall be provided at the rear of the vehicle. The following shall be located at the operator's position:

- 2.5" discharge pressure gauge
- start/stop control
- throttle control
- low oil pressure warning light
- tachometer (if so equipped)

The pump enclosure shall be mounted at the rear of the body.

C-4408 PUMP FUEL FROM CHASSIS - DIESEL

The fuel system for the auxiliary fire pump shall be plumbed from the chassis fuel system. There shall be a separate fuel pickup tube mounted in the chassis fuel tank specifically for a separate engine driven pump assembly.

There shall be an electric fuel pump with spin on fuel filter and flexible fuel hose furnished between the chassis fuel tank and the auxiliary pump.

C-4163 PUMP PANEL - PUMP ENCLOSURE MOUNTED

An engine and pump control panel shall be provided at the rear of the vehicle. The following shall be located in the pump panel:

- 2.5" discharge pressure gauge
- start/stop control
- throttle control

low oil pressure warning light

The pump control panel shall be installed in the pump dog house enclosure, rear passenger's side of the body.

C-3933 LOW WATER PRESSURE CUT-OFF

There shall be a low water pressure cut-off switch that will shut off the pump engine when pump pressure is lost. There shall be a manual override switch to bypass the cut-off.

C-3686 PUMP COOLER, BYPASS-TO-TANK, 3/8"

The fire pump shall be equipped with 3/8" cooling line from the pump to the water tank. This re-circulation line shall be controlled by a pump panel control valve with nameplate label noting it as the "fire pump bypass cooler".

C-3839 THERMAL RELIEF VALVE

There shall be a Trident model brass thermal relief valve installed in the manifold allowing auto dump at 143° water temperature. The thermal relief valve shall auto close at 118° water temperature. There shall be a hose directing water under the body, but in a location visible by the pump operator.

C-4388 PUMP ANODE

There shall be one(1) magnesium pump anode installed in the plumbing of the apparatus.

C-3706 MANIFOLD, SS (STANDARD)

The auxiliary fire pump plumbing system shall be built mostly of stainless steel piping, fittings, and connections. Victaulic couplings shall be installed to permit flexing of the plumbing system and allow for quick removal of piping or valves for service. Tank connections and remote plumbing shall use high-pressure flexible piping. Flexible hose couplings shall be threaded stainless steel or Victaulic connections.

This shall include valves and hose threads.

C-4733 VALVES, S/S, QUARTER TURN

All valves used in the plumbing installation shall be stainless steel quarter turn full flow type.

The plumbing installation shall include quarter turn ball valves with local "on-valve" handle control, with custom embossed labeling for each valve.

C-3897 NH HOSE THREADS

The hose threads shall be National Hose Standard (NH) on all base threads on the apparatus intakes and discharges, unless otherwise specified.

C-3704 2.5" PUMP INTAKE PLUMBING

The pump intake plumbing shall consist of the tank to pump line and the suction line.

The tank to pump line shall be installed with a flexible hump hose connection and stainless steel T-bolt clamps to the water tank. A 2.5" 1/4 turn ball valve shall be controlled with a manually operated handle directly on the valve.

The suction line shall be installed on the rear area to supply the fire pump from an external water supply. A 2.5" 1/4 turn ball valve shall be controlled with a manually operated handle directly on the valve. There shall be a 2.5" NH female thread connection with removable screen. There shall be a 2.5" plug attached with a cable.

C-3716 TANK FILL AND COOLING LINE 1.5" WATER

One (1) 1.5" fire pump to water tank refill and bypass cooler line shall be provided. The pump to tank valve shall be a 1.5" full flow quarter turn ball valve with local control handle. A 1.5" flex hose shall be installed to the water tank.

C-3708 DISCHARGE, 2.5", REAR, 2.5"FM X 1.5"M, 1

One (1) 2-1/2" discharge shall be installed at the rear pump area, controlled by a quarter turn ball valve. The discharge shall have 2-1/2" NH male hose threads. The discharge shall be equipped with 2-1/2" female x 1-1/2" chrome plated brass reducer, 1-1/2" chrome cap and cable.

C-3712 DISCHARGE, 3/4"GH, REAR, GARDEN HOSE OUT

One (1) 3/4" garden hose discharge shall be installed on the rear pump area, controlled by a quarter turn ball valve with local control

handle. The discharge shall have a 3/4" male garden hose threads and cap.

C-4016 HOSE REEL, HANNAY, CNTR MOUNT

One (1) Hannay aluminum hose reel shall be installed. The reel shall have leak proof ball bearing swing joint, adjustable friction brake, electric 12 volt rewind and manual crank rewind provisions.

The reel shall be mounted above the water pump and plumbing, center of the rear flat-bed body. There shall be a custom aluminum platform to support it.

One (1) 1" discharge shall be piped from the fire pump to each hose reel with flexible high pressure hose. The quarter turn ball valve shall be on manifold.

The hose reel shall be provided with a Hannay top mounted stainless steel roller assembly.

C-3737 ROLLER, HOSE REEL, TOP

Each hose reel shall be provided with a Hannay top mounted stainless steel roller assembly.

C-3726 150 FOOT REEL CAPACITY

Each hose reel shall have a capacity of 150 feet of hose.

C-4019 HOSE, WATER, 300#, 1" X 100'

One (1) 100' foot length of 1" water hose shall be installed on the hose reel. The hose shall be equipped with NH threaded couplings and have a 300 PSI working pressure.

C-4699 DISCHARGE, 1.5", FRONT BUMPER

One (1) 1.5" discharge shall be piped to the front bumper area, located on the driver's side area. The discharge shall be piped with flexible 1.5" hose. The outlet shall terminate with stainless steel or chrome plated brass chicksan swivel outlet with 1.5" NH male threads.

A 1.5" manually operated Akron T handle ball valve shall be installed at the bumper area.

The bumper discharge shall include a 1.5" stainless steel valve, with a flexible supply hose installed to feed the front discharge manifold.

C-3693 FOAM SYSTEM, SCOTTY #4171

A Scotty Model #4171 Class A through-the-pump foam system shall be installed to supply all discharges. The unit shall be mounted at the rear of the apparatus, within easy reach of pump operator. The unit shall be adjustable, permitting various foam ratio percentages to be educted depending on the nozzles in use. Foam selection percentages between .07 and 3% shall be available. The foam system has been designed for simplicity of operation and maintenance. The 3/4" supply line can be disconnected from the scotty foam system and used as a flush line.

There shall be 3/4" "Y" strainer installed on the tank to the foam system.

MAXIMUM WORKING PRESSURE: 300 PSI

C-3661 FOAM TANK CAPACITY, 10 GALLONS, CLASS A,

The Class A foam tank shall have a capacity of 10 gallons.

The foam concentrate tank shall be provided with a fill pipe having a volume of not less than 2 percent of the total tank volume. The filler opening shall be capped with a sealed air-tight threaded cover. The fill opening shall be designed to incorporate a removable screen and shall be located so that foam concentrate from a five (5) gallon container can be dumped into the tank.

The foam tank filler shall be equipped with a pressure/vacuum vent that enables the tank to compensate for changes in pressure or vacuum when filling or withdrawing foam concentrate from the tank. The pressure/vacuum vent shall not allow atmospheric air to enter the foam tank except during operation or to compensate for thermal fluctuations. The vent shall be protected to prevent foam concentrate from escaping or directly contacting the vent at any time. The vent shall be of sufficient size to prevent tank damage during filling or foam withdrawal.

A color coded label or visible permanent marking that reads "CLASS A -- FOAM TANK FILL" shall be placed at or near the foam concentrate tank fill opening. An additional label shall be placed at or near any foam concentrate tank fill opening stating the type of foam concentrate the system is designed to use.

Any restrictions on the types of foam concentrate that can be used with the system shall also be stated, along with a warning message that states "WARNING: DO NOT MIX BRANDS AND TYPES OF FOAM."

A 3/4" fitting shall be provided on the foam tank for connection of the foam tank to the suction side of the foam system.

A 3/4" diameter connection, piping, and valve shall be installed for the foam tank for draining purposes.

C-3672 FOAM TANK GAUGE - REAR

A Class 1 foam tank level gauge shall be installed on the pump panel. The tank level gauge shall indicate the liquid level on an easy to read LED display and show increments of 1/8 tank. A pressure transducer shall be mounted on the outside of the tank in an easily accessible area.

SP-2067 BUMPER MOUNTED JUMPER CONNECTION BUMPER MOUNTED JUMPER CONNECTION

C-3764 STOP/TAIL/TURN LIGHTS, WHELEN M6BTT/M6FC

Two (2) Whelen M6 Series Model M6BTT 4-5/16" x 6-3/4" brake, turn, tail lights with M6FC chrome flanges shall be provided. The warning lights shall incorporate Linear Super-LED and Smart LED technology. The lighthouse configuration shall consist of 18 red Super-LEDs and a clear optic polycarbonate lens. The lighthouses shall be surface mountable via two screws.

The lighthouses shall utilize an optic collimator and a chrome vacuum metalized reflector for maximum illumination. The lighthouse shall include 164 flash patterns including: a variety of CA Title 13 compliant, sinkable, left/right, top/bottom, in/out, and steady burn. The lighthouses shall have the Whelen exclusive NERM (Non-Emergency Recognition Mode) feature.

The lens/reflector assembly shall be wet sealed and resistant to: water, moisture, dust, and other environmental conditions. The outer lens shall have a hard coating applied to increase strength and ensure longevity. The light engine shall be installed at the rear of the unit and be completely sealed. The pc board shall be conformal coated for additional protection.

The lights shall be furnished with five 6" wire pigtails, a Santoprene rubber gasket and the #M6FC chrome flanges shall be included for installation.

C-3765 BACK UP LIGHTS, WHELEN M6 SERIES, LED,

Two (2) Whelen M-Series, 4" x 6" rear LED back-up lights shall be installed.

C-3876 SIREN, ELECTRONIC, WHELEN, 295SLSA6

Whelen Model #295SLSA6, self-contained electronic siren amplifier shall be provided. The heavy duty 100/200 watt, six (6) function siren shall have the following features: hands-free operation, public address, park kill, push to talk, and radio re-broadcast. The siren shall have the following tones: wail, yelp, piercer, and air horn.

The unit shall have solid-state over/under voltage shutdown and output short circuit protection. The siren shall have the "SI Test" self-diagnostic feature for silent speaker inspection. The siren shall have a face plate with green LED backlighting for easy control selection and visibility. The siren shall have a hard wired unidirectional microphone with a 17" extendable coil cord.

The unit shall be installed in the center console.

C-3747 SIREN SPEAKER (1)

One (1) Whelen Model #SA315P Projector Series siren speaker shall be provided with bracket. The 100 watt siren speaker shall be designed in a black nylon composite housing with 123 decibel rating.

Location shall be: Behind the front grille.

C-3743 LIGHTBAR, WHELEN, LEGACY

A Whelen Legacy low profile Super-LED NFPA lightbar shall be installed. The 54" lightbar shall be designed to meet the minimum clearing requirements for Zone A Upper. The internal components of the lightbar shall be housed within a two piece extruded aluminum base/top. The outer shell shall be clear optic polycarbonate lenses designed to maximize light output and shield against environmental elements.

The lightbar shall utilize snap-in brackets to hold in the lighthoods. The

brackets shall give the end user the ability to make quick repairs. The lightbar shall have all solid state components. The lightbar shall have two wire harnesses exiting the unit: one (1) 17 conductor 22 gauge control cable which controls all internal light functions; and one (1) 2 conductor 10 gauge cable for main power and ground. Each cable shall be 15' long.

The lightbar shall have four (4) red Linear Super-LED corner modules to provide off angle protection for the front and rear of the vehicle. Each corner module shall consist of twelve (12) Super-LEDs mounted within a vacuum metalized parabolic reflector. The corner module shall also utilize an optic collimator for maximum light output. The twelve (12) LEDs shall be mounted in one straight line.

The solid state I/O board shall be microprocessor controlled. The I/O board shall have built-in reverse-polarity protection and output-short protection. The board shall have the ability to flash sixteen (16) LED warning lights. There shall be a data bank of 13 Scan-Lock flash patterns including steady burn. The board shall also have outputs to add takedown and alley lights. Low power and cruise light function shall also be included. The cruise light function shall allow the user to employ the four (4) corner modules as marker courtesy lights.

The lightbar shall include clear "Take Down" and "Alley Lights".

The lightbar shall have an amber "Traffic Advisor" built into the rear portion of the lightbar.

C-3744 LIGHTBAR MOUNT, FRONT OF BODY, WITH GUARD

The lightbar shall be mounted on the front of the body with an aluminum brush guard protective assembly.

C-3749 WARNING LIGHTS, WHELEN, M-7 SERIES (12)

ZONE A -- LOWER FRONT WARNING LIGHTS

Two (2) Whelen M-7 Series Model #M7RC 3" x 7" warning lights with chrome flanges shall be in the front forward facing area of the front bumper. The warning lights shall incorporate Linear Super-LED and Smart LED technology. The lighthouse configuration shall consist of RED 18 Super-LEDs and a clear optic polycarbonate lens. The lighthouses shall be surface mountable via two screws. The lighthouses shall utilize an optic collimator and a chrome vacuum metalized reflector for maximum illumination.

ZONE B AND D -- INTERSECTION LIGHTS

Two (2) Whelen M-7 Series Model #M7RC 3" x 7" warning lights with chrome flanges shall be installed on bumper extension, as far forward as possible. The warning lights shall incorporate Linear Super-LED and Smart LED technology. The lighthouse configuration shall consist of RED 18 Super-LEDs and a clear optic polycarbonate lens.

ZONE B AND D -- LOWER SIDE REAR WARNING LIGHTS

Two (2) Whelen M-7 Series Model #M7RC 3" x 7" warning lights with chrome flange shall be installed in lower rearmost side body area as space permits. The warning lights shall incorporate Linear Super-LED and Smart LED technology. The lighthouse configuration shall consist of RED 18 Super-LEDs and a clear optic polycarbonate lens.

ZONE B AND D -- UPPER SIDE REAR WARNING LIGHTS

Two (2) Whelen M-7 Series Model #M7RC 3" x 7" warning lights with chrome flanges shall be installed in the upper rear body side panel. The warning lights shall incorporate Linear Super-LED and Smart LED technology. The lighthouse configuration shall consist of RED 18 Super-LEDs and a clear optic polycarbonate lens.

ZONE C -- UPPER REAR WARNING LIGHTS

Two (2) Whelen M-7 Series Model #M7RC 3" x 7" warning lights with chrome flanges shall be installed in the upper rear corner of the handrails. The warning lights shall incorporate Linear Super-LED and Smart LED technology. The lighthouse configuration shall consist of RED 18 Super-LEDs and a clear optic polycarbonate lens.

ZONE C -- LOWER REAR WARNING LIGHTS

Two (2) Whelen M-7 Series Model #M7RC 3" x 7" warning lights with chrome flanges shall be lower rear of body. The warning lights shall incorporate Linear Super-LED and Smart LED technology. The lighthouse configuration shall consist of RED 18 Super-LEDs and a clear optic polycarbonate lens.

C-4177.2 GOLIGHT SPOTLIGHT

A GL-30004-F LED Golight Stryker remote control spotlight shall be installed. It shall be operated by a handheld remote control FOB.

The Golight shall be mounted on the headache rack to match their other truck 14834.

C-3756 SCENE LIGHT, (6) RIGID

Six (6) Rigid Manufacturing Dually 202113 scene lights shall be installed. The LED scene lights shall incorporate clear LED's with a clear optic polycarbonate lens for maximum illumination.

Location shall be: Two (2) outward facing, each side of body, two (2) rear facing.

C-3618 BODY WORK LIGHTS, (4)

Four (4) Grote #63871 LED body work lights with clear lens shall be installed, wired to switch on the Cencom. They shall have an aluminum housing, and be 800 lumens at 1.4 amps.

Location shall be: in each corner of the protective tubing assembly to light the pump panel and the front body walkway area.

C-4070 GROUND LIGHTS - CHASSIS - LED STRIPS - 4DOOR

Four (4) LED ground strip lights shall be installed under the cab step area in compliance with NFPA standards, two (2) on each side of the apparatus, wired to the Cencom, and the chassis interior lights.

C-3617 GROUND LIGHTS, UNDER REAR STEP

Two (2) led ground lights shall be installed under the rear step area, one on each side of the apparatus.

C-3528 KUSSMAUL 1000 - WITH AUTO-EJECT

A Kussmaul Autocharge 1000, Model 091-215-12, high output automatic battery charger shall be provided. The battery charger shall be wired to the 12 volt battery system. The unit shall be mounted in a clean, dry area accessible for service and/or maintenance. It shall be wired to the specified shore power receptacle.

It shall include a compatible Digital Status Display Center.

It shall also include 15 amp "auto-eject" shore power receptacle with hinged weatherproof cover and an enclosure for protection from dirt and damage. The shore power plug shall be "ejected" when the chassis' engine starter is engaged and the receptacle shall be wired to any 120 volt A/C equipment requiring shore power.

Location shall be: Rear body panel, d/s

Color of Digital Status Display Center and Auto Eject: Red

C-4734 DOOR AJAR LIGHT WITH ALARM

A "door ajar" warning system shall be installed on the center console. There shall be a red flashing LED light with a clear lens.

There shall also be an audible alarm that sounds while the light is flashing.

The door ajar system shall be activated by door ajar switches installed on every compartment door.

C-5561 STRIPE, REFLECTIVE, SCOTCHLITE, FRONT CHEVRON,

There shall be alternating chevron striping installed across the front bumper where permitted. The chevron striping shall consist of 6" Scotchlite in the following colors:

Colors to be determined at preconstruction meeting.

C-5562 STRIPE, REFLECTIVE, SCOTCHLITE, REAR CHEVRON

There shall be alternating chevron striping installed on the rear vertical body panel. The chevron striping shall consist of 6" Scotchlite in the following colors:

Colors to be determined at preconstruction meeting.

C-3770 NO -- DOOR EMBLEM

NO -- Door Emblem

C-3767 LETTERING, CAB, 3" NON-REFLECTIVE

The cab lettering shall be made of 3M Scotchcal type material and installed in the customers desired location. There shall be no more than a total of fifty (50) 3" letters per door of apparatus. All lettering shall be reflective grade material.

****SKEETER BRUSH TRUCKS DOES NOT ORDER OR PROVIDE SIGN GOLD LETTERING OR LOGOS****

C-3772 1 - 4 - 1 REFLECTIVE STRIPE

The sides of the vehicle shall be provided with a .75" x 4" x .75" wide 3M brand Scotchlite reflective multi-stripe. There shall be a 1" gap between each of the stripes. The striping shall be placed up to 60" above ground level and shall conform to NFPA reflectivity

requirements. At least 50% of the perimeter length of each side shall have reflective striping.

C-4402.2 REMOVABLE NUMBER PLATES

One(1) removable number plate shall be added to the graphics package. Sizes and locations will be determined in conjunction with the rest of the graphics package.

C-3736 NOZZLE MOUNTING

Each 1" flexible hose discharge shall have a nozzle bracket installed to hold the nozzles in place.

C-3877 SPANNER SET, TFT, 2-SPANNER/1-HYDRANT

A Task Force Tips model #A3845 hydrant/spanner wrench set shall be provided.

Location shall be: Determined at pre-construct meeting

C-3995 WHEEL CHOCKS

Two (2) Zico Aluminum Wheel Chocks for large trucks NFPA wildland compliant shall be provided on the apparatus.

C-3525 BATTERY SWITCH, MASTER DISCONNECT, CH, R

A rotary type master disconnect switch shall be provided in the cab within easy reach of the driver. The switch shall have a switch plate with Off/On label.

There shall be a GREEN indicator light in the center console indicating the power is "ON".

C-3759 FUSE BOX

An electric enclosure for the 12 volt wiring shall be installed in the the apparatus. It shall have a removable panel or door to be able to access the components inside for maintenance purposes. It will be mounted in a location predetermined by the factory, accessible to the end user. Size shall be pre-determined by the factory.

C-3758 BACK UP ALARM

One (1) back up alarm shall be installed.

C-3763 LICENSE PLATE, MOUNTING

There shall be mounting provisions for the front and rear license plates.

An LED license plate light shall be installed on the rear vertical wall of the body for the rear license plate.

C-3762 CLEARANCE LIGHTS, LED, DOT

All LED identification lights shall be installed on the vehicle as required by applicable highway regulations.

C-4429 MUD FLAPS, REAR WHEELS, SEV LOGO

The chassis shall be supplied with mud flaps with the manufacturer's logo. The mud flaps shall be installed behind the rear wheels.

C-3570 EMBLEMS, SKEETER

Three (3) Skeeter emblems will be affixed to the cab and body.

C-4022 DRAWINGS

There shall be design drawings submitted to the customer prior to the pre-construct conference. The CAD drawings shall include all sides of the apparatus. The customer shall agree to the drawings reflecting the correct apparatus design and layout prior to construction.

C-3760 ELECTRICAL HARNESS & WIRING

The following describes the low voltage electrical system on the apparatus including all panels, electrical components, switches and relays, wiring harnesses and other electrical components. The apparatus manufacturer shall conform to the latest Federal DOT standards, current automotive electrical system standards and the applicable requirements of the NFPA.

Wiring shall be stranded copper or copper alloy conductors of a gauge rated to carry 125 percent of the maximum current for which the circuit is protected. Voltage drops shall not exceed 10 percent in all wiring from the power source to the using device. The wiring, wiring harness and insulation shall be in conformance to applicable SAE and NFPA standards. The wiring harness shall conform to SAE J-1128 with GXL temperature properties. Exposed wiring shall be run in a loom with a minimum 289 degree Fahrenheit rating. Wiring looms shall be properly supported and attached to body members. Electrical

conductors shall be constructed in accordance with applicable SAE standards, except when good engineering practice requires special construction.

All wiring connections and terminations shall provide positive mechanical and electrical connections and be installed in accordance with the device manufacturer's instructions. When wiring passes through metal panels, electrical connections shall be secured with mechanical type fasteners and rubber grommets

Wiring between cab and body shall be split using connectors or enclosed in a terminal junction panel allowing body removal with minimal impact on the apparatus electrical system. Connections shall be crimp-type with heat shrink tubing with insulated shanks to resist moisture and foreign debris such as grease and road grime. Weather resistant connectors shall be provided throughout the system.

Electrical junction or terminal boxes shall be weather resistant and located away from water spray conditions. When required, automatic reset breakers and relays shall be housed in the main body junction panel.

There shall be no exposed electrical cabling, harnesses, or terminal connections located in compartments, unless enclosed in an electrical junction box or covered with a removable electrical panel. Wiring shall be secured in place and protected against heat, liquid contaminants and damage.

Low voltage overcurrent protective devices shall be provided for the electrical circuits. The devices shall be accessible and located in required terminal connection locations or weather resistant enclosures. Overcurrent protection devices shall be automatic reset type suitable for electrical equipment and meet SAE standards. All electrical equipment, switches, relays, terminals, and connectors shall have a direct current rating of 125 percent of maximum current for which the circuit is protected. Electro-magnetic interference suppression shall be provided in the system as required in applicable SAE standards.

The electrical system shall include the following:

Electrical terminals in weather exposed areas shall have a non-conductive grease or spray applied. All terminal plugs located outside of the cab or body shall be treated with a corrosion preventative compound.

All electrical wiring shall be placed in a protective loom or be harnessed.

Exposed connections shall be protected by heat shrink material and sealed connectors.

Large fender washers shall be used when fastening equipment to the underside of the cab roof and all holes made in the roof shall be caulked with silicone.

Electrical components installed in exposed areas shall be mounted in a manner that will not allow moisture to accumulate inside.

A coil of wire must be provided behind an electrical appliance to allow them to be pulled away from mounting area for inspection and service work.

All lights in a weather exposed area that have their sockets shall have corrosion preventative compound added to the socket terminal area.

All wiring shall be hidden, enclosed, or protected under the body in protective material, or within the apparatus body components. In addition, split loom conduits shall be installed and enclosed, suitably secured and protected against heat and physical damage.

C-3780 CAPACITIES PLACARD, REFLECTIVE

The apparatus shall have a reflective placard that provides the following information:

- Water Tank Capacity
- Pump Capacities
- NWCG Typing
- Skeeter Contact Information

C-3474 CHASSIS PREP

The chassis cab shall be "prepped" for fire apparatus production as follows:

- a) Wash and clean chassis
- b) Weigh chassis for NFPA reports
- c) Quality control check in.

C-3630 FINAL ASSEMBLY

The apparatus shall be assembled in a high quality and controlled environment. The fit, form, and finish of the body shall be to the highest level fire apparatus manufacturing standards. Upon completion, the apparatus shall be ready for final inspection and road testing as required herein.

C-3795 OPERATIONAL PUMP TEST

The fire pump shall have an operational pump test performed by a Skeeter Emergency Vehicles technician with a run time of one (1) hour to confirm proper operations of all pump related components.

*** NOTE: ALL TESTING SHALL BE DONE AND PERFORMANCE OBSERVED BETWEEN SEA LEVEL AND 1000' ELEVATION.

*** HIGH ALTITUDE PERFORMANCE MAY NOT REPRESENT TESTING RESULTS SHOWN.

C-3796 12V ELECTRICAL LOAD

A 12 volt electrical load analysis shall be performed in order to test response and stationary modes of electrical amp load.

C-3799 ROAD TEST, 10 MILES

A road test will be conducted with the apparatus fully loaded and a continuous run of no less than ten (10) miles. During that time the apparatus will show no loss of power nor will it overheat. The transmission drive shaft or shafts and the axles will run quietly and be free of abnormal vibration or noise.

C-3800 5-YEAR PARTS & LABOR/10-YEAR BODY INTEGR

A five (5) year parts and labor warranty on items manufactured by Skeeter Emergency Vehicles and a ten (10) year warranty on the structural integrity of the body. For warranty issues please contact your local dealer or Skeeter Emergency Vehicle service center and request warranty from the service advisor at that location.

C-4523 BASIC APPARATUS LABELING

Per NFPA a permanent label shall be mounted in the cab showing the following information:

A permanent label in the driving compartment shall specify the quantity and type of the following fluids used in the vehicle and tire information:

1. (1)
Engine oil
2. (2)
Engine coolant
3. (3)
Chassis transmission fluid

4. (4)
Pump transmission lubrication fluid
5. (5)
Pump priming system fluid, if applicable
6. (6)
Drive axle(s) lubrication fluid
7. (7)
Air-conditioning refrigerant
8. (8)
Air-conditioning lubrication oil
9. (9)
Power steering fluid
10. (10)
Cab tilt mechanism fluid
11. (11)
Transfer case fluid
12. (12)
Equipment rack fluid
13. (13)
CAFS air compressor system lubricant
14. (14)
Generator system lubricant
15. (15)*
Front tire cold pressure
16. (16)*
Rear tire cold pressure
17. (17)
Maximum tire speed ratings

There shall be a label identifying the number of seat belted locations on the unit.

A final stage manufacturer shall install "hearing loss" potential warning labels on the vehicle in any areas or fixed equipment that produces excessive noise levels. (exhaust outlet, sirens and air horns shall not be required for such equipment.)

A warning label stating: "NO RIDING ON REAR OF APPARATUS" shall be installed on rear of the apparatus. The label shall be applied to the vehicle at the rear step area. The label shall warn personnel that riding in or on these areas, while the vehicle is in motion, is prohibited.

The below listed labels shall be installed on/in the apparatus. All label shall comply with NFPA 1906, 2016 Edition standards on location and

design set in each standard.

- (1) NFPA 1906: 12.2.3.3 - Fluid Data Label
- (2) NFPA 1906: 14.1.3.7 - Safety Sign FAMA07, Seat Belt Use
- (3) NFPA 1906: 14.1.7.5 - Safety Sign FAMA43, No Helmets Vehicle in Motion
- (4) NFPA 1906: 16.13.1.3.1 - Pump Test Label

The following shall be installed or provided on the apparatus in accordance with NFPA 1906:

One (1) placard indicating fluid type and capacity shall be installed on the apparatus

One (1) Label indicating height and weight of the apparatus shall be installed in a location visible to the driver.

One (1) Safety Sign, FAMA 06, which warns of the need to use a seatbelt while the vehicle is in motion.

One (1) Safety Sign, FAMA 10, which warns of the need secure all loose items in the cab while the vehicle is in motion.

One (1) Safety Sign, FAMA 24, which warns against riding on the vehicle while it is in motion.

One (1) Safety sign, FAMA 23, which warns of the proper climbing method, shall be visible to personnel entering the cab and at each designated climbing location on the body.

One (1) Safety sign, FAMA 25, which warns of the need for training prior to operating the apparatus, shall be located on the pump operator's panel.

One (1) Safety Sign, FAMA 43, warning not to wear helmets while vehicle is in motion shall be visible from each seat.

One (1) Indicator installed in the cab of the apparatus that when illuminated will indicate "Pump Engaged" and "OK to Pump" if the apparatus is designed to pump and roll the indicator shall be labeled "OK" to Pump and Roll"

C-4338 NO -- NFPA SPEED RESTRICTION

NO -- NFPA Speed Restriction

C-5428 PRE-CONSTRUCT CONFERENCE VIA TEAMS.

The preconstruction meeting shall be held virtual through Microsoft Team. It shall be attended by the purchasing department, the apparatus sales dealer along with a representative from Skeeter Emergency Vehicles.

C-4269 FINAL INSPECTION AT SKEETER

Representatives from the purchaser and the dealer shall be present at Skeeter's manufacturing facility in Hillsboro, Tx for the final inspection of the apparatus. A factory representative will assist the purchaser with review of the specifications to confirm they match the apparatus.

Cost of transportation to and from the facility shall be the responsibility of the purchaser.

*** NOTE, UNLESS PRIOR APPROVAL BY SKEETER BRUSH TRUCKS, FINAL INSPECTION AT THE PLANT IS MANDATORY ***

C-3790 TRAINING, FACTORY SUPPLIED, FACTORY LOCA

The bidder shall demonstrate and familiarize the purchaser regarding the vehicle's operation. This shall include operation of chassis, major components, review of delivery information and documentation. This demonstration shall be completed at Skeeter Brush Trucks factory location in Hillsboro, Texas.

C-4340 DELIVERY, DEALER PROVIDED

Delivery of the apparatus from the manufacture's plant to the customer shall be provided by the dealer.

*It is the dealer's responsibility to deliver all loose equipment not physically mounted to the apparatus

C-3787 PAYMENT TERMS, 100% ON DELIVERY AND ACCE

Terms of payment for the specified vehicle shall be only cash or equivalent on delivery and acceptance for the unit. No bid will be considered which requires the purchaser to deposit with the bidder a down payment, prepayment of chassis, or any other such consideration as a condition of the bid. Such a requirement shall be grounds for immediate rejection of the bid.



Spec # 2516 Print List

Spec #: 2516	Dealership: Siddons-Martin Emergency Group	Chassis: C-3460 (Ford F550 - 4x4 - Diesel - 4 Door - 60" CA)
Job #:	Sales Rep: Thom Kowatch	Body:
Creation Date: 12/24/2024	Account: Storey County Fire	Truck Desc.:
Notes:		NWCG Typing:

Components

#	Component Description	Category	Quantity
C-3460	Ford F550 - 4x4 - Diesel - 4 Door - 60" CA	Chassis	1
SP-2516	DOOR AJAR ALARM KILL SWITCH	Chassis	1
C-4136	60" Cab to Axle	Chassis	1
C-4272	Cab Repaint - Split - Stock and One Custom Color	Chassis	1
C-3543	None - No Cab Steps	Chassis	1
C-3994	2in Lift Kit - Ford 4x4	Chassis	1
C-3481	Tires/Wheels - OEM Tires and Wheels	Chassis	1
C-3486	None - No Spare Tire	Chassis	1
C-3489	Spare Mount - Top of Tank	Chassis	1
C-3485	Upgrade Wheels to Aluminum Stock	Chassis	1
C-4089	Front Bumper - Skeeter Aluminum - No Grill Guard	Chassis	1
C-4695	Front Bumper - DA Finish	Chassis	1
C-3501	None - No Fog Lights	Chassis	1
C-3497	Skid Plate - Front Bumper - 1/4in Aluminum	Chassis	1
C-3499	Skid Plate - Transfer Case - 1/4in Aluminum	Chassis	1
C-3514	Front Winch - 12000lbs - WARN - Fixed	Chassis	1
C-4620	Galvanized Winch Cable	Chassis	1
C-5624	Front Mount, Flip Up, Roller Fairlead	Chassis	1
C-3519	Console, Alum/Poly, SM Truck	Chassis	1
C-4551	Power Outlets, 12V, Dual 4.8A USB, Cab	Chassis	1
C-4354	Console - Upgraded Fuse Block	Chassis	1
C-3533	Radio Install - 1 Radio (Customer Provided)	Chassis	1
C-4003	Install Radio Antennas (Antennas Only)	Chassis	1
C-5180	Camera System - OEM - Rear Camera	Chassis	1
C-3612	Rear Receiver - Standard - Winch/Rope/Trailer	Chassis	1
C-3530	Trailer Plug - 12V - 7 Pin	Chassis	1
SP-2516	Antenna Tabs	Wildland Body	1



Spec # 2516 Print List

#	Component Description	Category	Quantity
SP-2516	Full Tray Divider	HWR Body	1
C-4205	R200 - Rsq Sqd, Alum, 114" x 96", 60" CA	Wildland Body	1
C-4466	RSQ SQUAD BODY PAINT	Wildland Body	1
C-3593	Rear Center Under Body Compt 108"	Wildland Body	1
C-4690	Dividers For Hard Suction - With Slide out Tray	Wildland Body	1
C-4443	D/S Tool Tray - Solid - 72"	Wildland Body	1
C-4453	P/S Tool Tray - Solid - 72"	Wildland Body	1
C-4143	Top of Tank Storage, Slotted Aluminum	Wildland Body	1
C-3615	Rear Fold Down Step	Wildland Body	2
C-3614	Rear Step, Pull out	Wildland Body	1
C-4193	Fuel and DEF Fill Doors	Wildland Body	1
C-4209	Adjustable Shelf	Wildland Body	3
C-4179	Long Tool Storage	Wildland Body	1
C-4227	I-zone Brackets, Swing-Out	Wildland Body	1
C-3797	NFPA Compliance	Wildland Body	1
C-5456	Primer, Electric, Aux Pump, Additional	QRV Plumbing	1
SP-2516	Pressure Relief Valve	Wildland Plumbing	1
SP-2516	Foam Pro Power Fill	Wildland Plumbing	1
SP-2516	TFT INTAKE RELIEF VALVE	Wildland Plumbing	1
C-3634	400 Gallons, Poly	Wildland Plumbing	1
C-3652	Water Tank Drain and Valve, 1.5"	Wildland Plumbing	1
C-3659	Water Tank Gauge - Rear	Wildland Plumbing	1
C-3656	NO -- Tank Perimeter Wall	Wildland Plumbing	1
C-4038	Pump Darley, 2.5 AGE 24K Diesel	Wildland Plumbing	1
C-3890	Aux Fire Pump Mtng, Rear Center, Bolted	Wildland Plumbing	1
C-3700	Pump Enclosure, Small - Diesel Pump	Wildland Plumbing	1
C-4408	Pump Fuel from Chassis - Diesel	Wildland Plumbing	1
C-4163	Pump Panel - Pump Enclosure Mounted	Wildland Plumbing	1
C-3933	Low Water Pressure Cut-Off	Wildland Plumbing	1
C-3686	Pump Cooler, Bypass-To-Tank, 3/8"	Wildland Plumbing	1
C-3839	Thermal Relief Valve	Wildland Plumbing	1
C-4388	Pump Anode	Wildland Plumbing	1
C-3706	Manifold, SS (Standard)	Wildland Plumbing	1
C-4733	Valves, S/S, Quarter Turn	Wildland Plumbing	1
C-3897	NH Hose Threads	Wildland Plumbing	1
C-3704	2.5" Pump Intake Plumbing	Wildland Plumbing	1
C-3716	Tank Fill and Cooling Line 1.5" Water	Wildland Plumbing	1
C-3708	Discharge, 2.5", Rear, 2.5"FM x 1.5"M, 1	Wildland Plumbing	1
C-3712	Discharge, 3/4"GH, Rear, Garden Hose Out	Wildland Plumbing	1
C-4016	Hose Reel, Hannay, Cntr Mount	Wildland Plumbing	1



Spec # 2516 Print List

#	Component Description	Category	Quantity
C-3737	Roller, Hose Reel, Top	Wildland Plumbing	1
C-3726	150 Foot Reel Capacity	Wildland Plumbing	1
C-4019	Hose, Water, 300#, 1" x 100'	Wildland Plumbing	1
C-4699	Discharge, 1.5", Front Bumper	Wildland Plumbing	1
C-3693	Foam System, Scotty #4171	Wildland Plumbing	1
C-3661	Foam Tank Capacity, 10 Gallons, Class A,	Wildland Plumbing	1
C-3672	Foam Tank Gauge - Rear	Wildland Plumbing	1
SP-2516	BUMPER MOUNTED JUMPER CONNECTION	Electrical	1
C-3764	Stop/Tail/Turn Lights, Whelen M6BTT/M6FC	Electrical	1
C-3765	Back up Lights, Whelen M6 Series, LED,	Electrical	1
C-3876	Siren, Electronic, Whelen, 295SLSA6	Electrical	1
C-3747	Siren Speaker (1)	Electrical	1
C-3743	Lightbar, Whelen, Legacy	Electrical	1
C-3744	Lightbar Mount, Front of Body, with Guard	Electrical	1
C-3749	Warning Lights, Whelen, M-7 Series (12)	Electrical	1
C-4177	Golight Spotlight	Electrical	1
C-3756	Scene Light, (6) Rigid	Electrical	1
C-3618	Body Work Lights, (4)	Electrical	1
C-4070	Ground Lights - Chassis - LED Strips - 4Door	Electrical	1
C-3617	Ground Lights, Under Rear Step	Electrical	1
C-3528	Kussmaul 1000 - With Auto-Eject	Electrical	1
C-4734	Door Ajar Light with Alarm	Electrical	1
C-5561	Stripe, Reflective, Scotchlite, Front Chevron,	Graphics	1
C-5562	Stripe, Reflective, Scotchlite, Rear Chevron	Graphics	1
C-3770	NO -- Door Emblem	Graphics	1
C-3767	Lettering, Cab, 3" Non-Reflective	Graphics	1
C-3772	1 - 4 - 1 Reflective Stripe	Graphics	1
C-4402	Removable Number Plates	Graphics	4
C-3736	Nozzle Mounting	Wildland Equipment	1
C-3877	Spanner Set, TFT, 2-spanner/1-Hydrant	Wildland Equipment	1
C-3995	Wheel Chocks	Wildland Equipment	1
C-3525	Battery Switch, Master Disconnect, CH, R	Required Components	1
C-3759	Fuse Box	Required Components	1
C-3758	Back Up Alarm	Required Components	1
C-3763	License Plate, Mounting	Required Components	1
C-3762	Clearance Lights, LED, DOT	Required Components	1
C-4429	Mud Flaps, Rear Wheels, SEV Logo	Required Components	1
C-3570	Emblems, Skeeter	Required Components	1
C-4022	Drawings	Required Components	1
C-3760	Electrical Harness & Wiring	Required Components	1



Spec # 2516 Print List

#	Component Description	Category	Quantity
C-3780	Capacities Placard, Reflective	Required Components	1
C-3474	Chassis Prep	Required Components	1
C-3630	Final Assembly	Required Components	1
C-3795	Operational Pump Test	Required Components	1
C-3796	12V Electrical Load	Required Components	1
C-3799	Road Test, 10 miles	Required Components	1
C-3800	5-Year Parts & Labor/10-Year Body Integr	Required Components	1
C-4523	Basic Apparatus Labeling	Other	1
C-4338	NO -- NFPA Speed Restriction	Other	1
C-5428	Pre-Construct Conference via Teams.	Other	1
C-4269	Final Inspection at Skeeter	Other	1
C-3790	Training, Factory Supplied, Factory loca	Other	1
C-4340	Delivery, Dealer Provided	Other	1
C-3787	Payment Terms, 100% on Delivery and Acce	Other	1



Storey County Board of Fire Commissioners Agenda Action Report

Meeting date: 3/18/2025

Estimate of time required: 5 Minutes

Agenda: Consent [] Regular agenda [X] Public hearing required []

1. **Title:** DISCUSSION/POSSIBLE ACTION: Discussion and possible approval of the purchase of an unbudgeted emergency generator for fire station 72 for the approximate amount of \$40,000 from Highlands Electric.
2. **Recommended motion:** I (Fire Commissioner) move to approve the purchase of an unbudgeted emergency generator for fire station 72 for the approximate amount of \$40,000 from Highlands Electric.
3. **Prepared by:** Jeremy Loncar

Department: Fire

Telephone: 847-0954

4. **Staff summary:** This request seeks approval to purchase and install a 30KW diesel generator and automatic transfer switch at Fire Station 72 to provide backup power for all three district buildings. Currently, the new apparatus bays are not powered by the existing generator, which is too small to support all three buildings. This installation will ensure full backup power for the entire site.

During a recent site visit to Station 72, it was discovered that there is a bad ground in the conduit between the new and old bays. This issue was identified while IT and Highland Electric were on-site and required access to the locked transfer switch.

In discussions with Highland Electric, we were advised that Community Development had previously purchased a brand-new 30KW diesel generator and transfer switch but has since decided not to use it. They have offered to sell and install the unit at Station 72 for approximately \$40,000, which includes the necessary setup and installation.

This generator would be configured to automatically transfer power to all three buildings in the event of an outage, ensuring continuous operations at the station. Given the critical nature of emergency services, this investment would enhance operational readiness and resilience at a competitive price.

The estimated cost for this purchase and installation is \$40,000. Approval of this request would allow for installation within the current fiscal year, pending budget availability.

It is recommended to approve the purchase and installation of the 30KW diesel generator and transfer switch for Fire Station 72 at an estimated cost of \$40,000, to be funded within the current fiscal year if possible.

5. Supporting materials:

6. Fiscal impact:

Funds Available: Yes

Fund: 280

Comptroller

7. Legal review required:

District Attorney

8. Reviewed by:

JL_ Fire Chief

Comptroller

9. Board action:

Approved

Denied

Approved with Modifications

Continued

Agenda Item No. ____



Storey County Liquor Licensing Board Agenda Action Report

**Meeting date: 3/18/2025 10:00 AM -
BOCC Meeting**

Estimate of Time Required: 10 minutes

Agenda Item Type: Discussion/Possible Action

- **Title:** For consideration and possible approval of the First reading for On-Sale Liquor License. Applicant is Jennifer Stoops, Maddy’s Place LLC, 55 North C Street, Virginia City, NV.
- **Recommended motion:** I (insert name) motion to approve the First reading for On-Sale Liquor License. Applicant is Jennifer Stoops, Maddy’s Place LLC, 55 North C Street, Virginia City, NV.
- **Prepared by:** Erika Wall

Department: Sheriff

Contact Number: 7758470959

- **Staff Summary:** First reading for On-Sale Liquor License. Applicant is Jennifer Stoops, Maddy’s Place LLC, 55 North C Street, Virginia City, NV.
- **Supporting Materials:** No Attachments
- **Fiscal Impact:**
- **Legal review required:** False
- **Reviewed by:**

_____ Department Head

Department Name:

_____ County Manager

Other Agency Review: _____

- **Board Action:**

<input type="checkbox"/> Approved	<input type="checkbox"/> Approved with Modification
<input type="checkbox"/> Denied	<input type="checkbox"/> Continued



Board of Storey County Commissioners Agenda Action Report

**Meeting date: 3/18/2025 10:00 AM -
BOCC Meeting**

Estimate of Time Required: 15

Agenda Item Type: Discussion/Possible Action

- **Title:** Consideration and possible approval to authorize the County Manager to authorize a change request (CR008) in the amount of \$55,096.56 due to a design oversight in the plans for the site improvements at the Lockwood Senior Center. The original design undersized the required retaining wall at the south end of the parking lot. Corrective design was provided by the designers at no cost to the County and the Contractor has submitted a price proposal to construct the larger wall per the corrected designs. CME Construction Management has reviewed the proposed costs and determined the costs to be reasonable.
- **Recommended motion:** I, [commissioner], move to approve the change request (CR008) and to authorize the County Manager to authorize the change request in the amount of \$55,096.56 for the construction of a retaining wall per the corrected design documents.
- **Prepared by:** Mike Northan
Department: Public Works **Contact Number:** 7752304255
- **Staff Summary:** The original civil design drawings for the Lockwood Senior Center site showed a retaining wall at the southwest corner of the parking lot to retain the existing hillside that the lot extends into. During construction, the Contractor expressed some concerns about the adequacy of the wall in terms of its height and length. This was the subject of an RFI to the designers (Lumos and Associates). Lumos responded in agreement with the concerns and provided revised drawings showing a substantially larger wall. The Contractor was asked to provide a hard quote for the additional wall construction. That is the subject of this Change Request.
- The wall is, unfortunately, not a luxury item. This wall is required to protect the parking area of the facility which is sized for the occupant load of the building. Had the oversight not occurred, the larger wall cost would have been captured in the original submitted bid.
- **Supporting Materials:** See Attachments
- **Fiscal Impact:** \$55,096.56
- **Legal review required:** TRUE

- **Reviewed by:**

_____ Department Head

Department Name: _____

_____ County Manager

Other Agency Review: _____

- **Board Action:**

<input type="checkbox"/> Approved	<input type="checkbox"/> Approved with Modification
<input type="checkbox"/> Denied	<input type="checkbox"/> Continued

BOCC Agenda Item Text and Staff Report

Meeting date: March 18, 2025

Request text:

For discussion/possible action: To authorize the County Manager to authorize a change request (CR008) in the amount of \$55,096.56 due to a design oversight in the plans for the site improvements at the Lockwood Senior Center. The original design undersized the required retaining wall at the south end of the parking lot. Corrective design was provided by the designers at no cost to the County and the Contractor has submitted a price proposal to construct the larger wall per the corrected designs. CME Construction Management has reviewed the proposed costs and determined the costs to be reasonable.

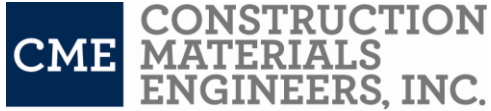
Recommended motion:

I, [commissioner], move to approve the change request (CR008) and to authorize the County Manager to authorize the change request in the amount of \$55,096.56 for the construction of a retaining wall per the corrected design documents.

Staff Report

The original civil design drawings for the Lockwood Senior Center site showed a retaining wall at the southwest corner of the parking lot to retain the existing hillside that the lot extends into. During construction, the Contractor expressed some concerns about the adequacy of the wall in terms of its height and length. This was the subject of an RFI to the designers (Lumos and Associates). Lumos responded in agreement with the concerns and provided revised drawings showing a substantially larger wall. The Contractor was asked to provide a hard quote for the additional wall construction. That is the subject of this Change Request.

The wall is, unfortunately, not a luxury item. This wall is required to protect the parking area of the facility which is sized for the occupant load of the building. Had the oversight not occurred, the larger wall cost would have been captured in the original submitted bid.



300 Sierra Manor Drive, Suite 1
Reno, NV 89511

February 25, 2025
File: 3426

Mr. Michael Northan
Storey County
P.O. Box 176
Virginia City, NV 89440

**RE: Lockwood Senior Center
Storey County
Change Request 008 – Retaining Wall Revision**

Dear Mr. Northan:

Attached herewith is a copy of K7 Construction's Change Request 008 in the amount of \$55,096.56. This change request includes the additional labor, material, and equipment costs associated with increasing the size of the retaining wall in accordance with the updated design drawings provided by Lumos & Associates in response to RFI 048.

CME has reviewed this proposal and has found this cost increase to be justified and reasonable. We recommend that this proposal be approved as submitted.

Please contact our office should you have any related questions or comments.

Sincerely,

CONSTRUCTION MATERIALS ENGINEERS, INC

A handwritten signature in blue ink that reads 'Joseph A. Mactutis'.

Joseph Mactutis, P.E.
Senior Project Manager
jmactutis@cmenv.com
Mobile: 775-997-6223
Office: 775-737-7584

JAM: KRP
C: Change Request #8 - Retaining Wall Revision – Rev1
V:\Projects\Active\3426\CM\060 - Change Orders\Change Requests (CR)\Change Request 008 - Retaining Wall Revision

CHANGE ORDER NO.: 006

Owner: Storey County
 Engineer: Lumos & Associates
 Contractor: K7 Construction
 Project: Lockwood Senior Center

Owner's Project No.: PWP-ST-2024-211
 Engineer's Project No.: 10119.005
 Contractor's Project No.: 24038

Contract Name: Lockwood Senior Center
 Date Issued: 2/25/25

Effective Date of Change Order: 2/25/25


The Contract is modified as follows upon execution of this Change Order:

Description: This change order covers the additional material, labor and equipment costs associated with the construction of additional retaining wall sections in accordance with the updated design drawings received from Lumos & Associates on 2/5/2025.

Attachments: Contractor Change Request #8rev1

Change in Contract Price	Change in Contract Times
Original Contract Price: \$ <u>5,316,585.80</u>	Original Contract Times: Substantial Completion: <u>8/5/25</u> Ready for final payment: <u>9/2/25</u>
Increase from previously approved Change Orders No. 1 to No. 5 \$ <u>38,302.64</u>	No Change from previously approved Change Orders No.1 to No. 5 Substantial Completion: <u>8/5/25</u> Ready for final payment: <u>9/2/25</u>
Contract Price prior to this Change Order: \$ <u>5,354,888.44</u>	Contract Times prior to this Change Order: Substantial Completion: <u>8/5/25</u> Ready for final payment: <u>9/2/25</u>
Increase this Change Order: \$ <u>55,096.56</u>	No Change this Change Order: Substantial Completion: <u>8/5/25</u> Ready for final payment: <u>9/2/25</u>
Contract Price incorporating this Change Order: \$ <u>5,409,985.00</u>	Contract Times with all approved Change Orders: Substantial Completion: <u>8/5/25</u> Ready for final payment: <u>9/2/25</u>

Recommended by Construction Manager

By: Joseph Mactutis, PE 
 Title: Project Manager *FOR JOE MACTUTIS*
 Date: 2/25/25

Authorized By Contractor

Authorized by Owner

By: Austin Osborne
 Title: County Manager
 Date: _____

Approved by Funding Agency (if applicable)

New Masonry Design				
Run	Wall Height (FT)	Length (LF)	Surface Area (SF)	Notes
East/West	8.67	8.00	69.36	7'-4" Plus 8" In Corner
East/West	8.00	3.33	26.64	
East/West	7.33	2.00	14.66	
East/West	6.67	4.00	26.68	
East/West	6.00	3.33	19.98	
East/West	5.33	3.33	17.75	
East/West	4.67	10.00	46.70	
East/West	4.00	3.33	13.32	
East/West	3.33	6.67	22.21	
North/South	8.67	12.00	104.04	
North/South	8.00	2.00	16.00	
North/South	7.33	2.67	19.57	
North/South	6.67	10.00	66.70	
North/South	6.00	4.67	28.02	
North/South	5.33	7.33	39.07	
North/South	4.67	4.00	18.68	
North/South	4.00	13.33	53.32	

602.70 Total (SF)

New Concrete Design					
Run	Footing Area (SF)	Length (LF)	Volume (CF)	Volume (CY)	
East/West	7.24	9.33	67.55	2.50	Detail 5
East/West	7.24	3.33	24.11	0.89	Detail 5
East/West	7.24	2.00	14.48	0.54	Detail 5
East/West	7.24	4.00	28.96	1.07	Detail 2
East/West	7.24	3.33	24.11	0.89	Detail 2
East/West	7.24	3.33	24.11	0.89	Detail 2
East/West	4.50	10.00	45.00	1.67	Detail 3
East/West	4.00	3.33	13.32	0.49	Detail 4
East/West	4.00	6.67	26.68	0.99	Detail 4
North/South	7.24	4.83	34.97	1.30	Detail 5
North/South	7.24	2.00	14.48	0.54	Detail 5
North/South	7.24	2.67	19.33	0.72	Detail 5
North/South	7.24	10.00	72.40	2.68	Detail 2
North/South	7.24	4.67	33.81	1.25	Detail 2
North/South	7.24	7.33	53.07	1.97	Detail 2
North/South	4.50	4.00	18.00	0.67	Detail 3
North/South	4.00	13.33	53.32	1.97	Detail 4

21.03 Total (CY)

Old Masonry Design				
Run	Wall Height (FT)	Length (LF)	Surface Area (SF)	Notes
East/West	7.00	3.67	25.69	3'-0" Plus 8" In Corner
East/West	3.00	20.30	60.90	
North/South	7.00	11.83	82.81	
North/South	3.00	13.33	39.99	
North/South	2.00	25.83	51.66	

261.05 Total (SF)

341.65 Increase From Base Scope (SF)

130.88% Increase From Base Scope (%)

Old Concrete Design					
Run	Footing Area (SF)	Length (LF)	Volume (CF)	Volume (CY)	
East/West	7.24	5.00	36.20	1.34	Detail 2
East/West	4.50	20.30	91.35	3.38	Detail 3
North/South	7.24	8.92	64.58	2.39	Detail 2
North/South	4.50	13.75	61.88	2.29	Detail 3
North/South	4.00	25.83	103.32	3.83	Detail 4

13.23 Total (CY)

7.79 Increase From Base Scope (CY)

58.87% Increase From Base Scope (%)



P.O. Box 17425
 Reno, NV 89511
 Ph : 7758268872

Change Request

To: County of Storey, Nevada
 Community Development Dept.
 110 Toll Road
 P.O. Box 526
 Virginia City, NV 89440

Number: 8
Date: 2/17/25
Job: 24-038 Lockwood Senior Center
Phone:

Description: Change Request #8 - Retaining Wall Revision

Reason: Change in Scope

We are pleased to offer the following specifications and pricing to make the following changes:

Retaining wall revisions per RFI 048 revised drawings.

- AK Rebar - \$2,160.00
- Concrete Accessories - \$3,590.99
- Kawcak Masonry - \$13,608.00
- Taurus Construction - \$26,776.92
- Valley Concrete - \$6,337.00

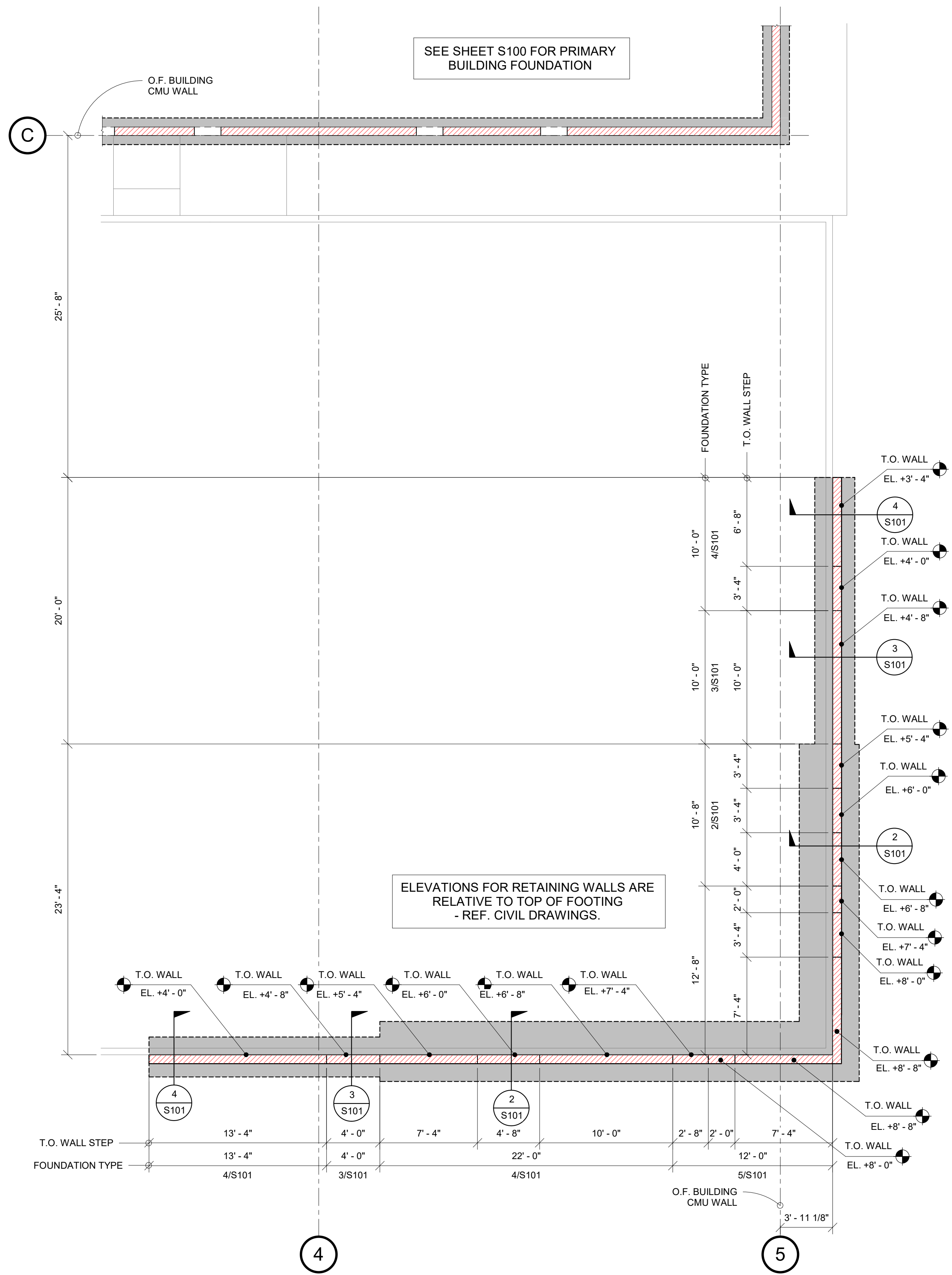
Description	Labor	Material	Equipment	Subcontract	Other	Price
Retaining Wall Revision - AK Rebar				\$2,160.00		\$2,160.00
Retaining Wall Revision - Concrete Accessories				\$3,590.99		\$3,590.99
Retaining Wall Revision - Kawcak Masonry				\$13,608.00		\$13,608.00
Retaining Wall Revision - Taurus CX				\$26,776.92		\$26,776.92
Retaining Wall Revision - Valley Concrete				\$6,337.00		\$6,337.00
					Subtotal:	\$52,472.91
			OH&P	\$52,472.91	5.00%	\$2,623.65
					Total:	\$55,096.56

If you have any questions, please contact me at .

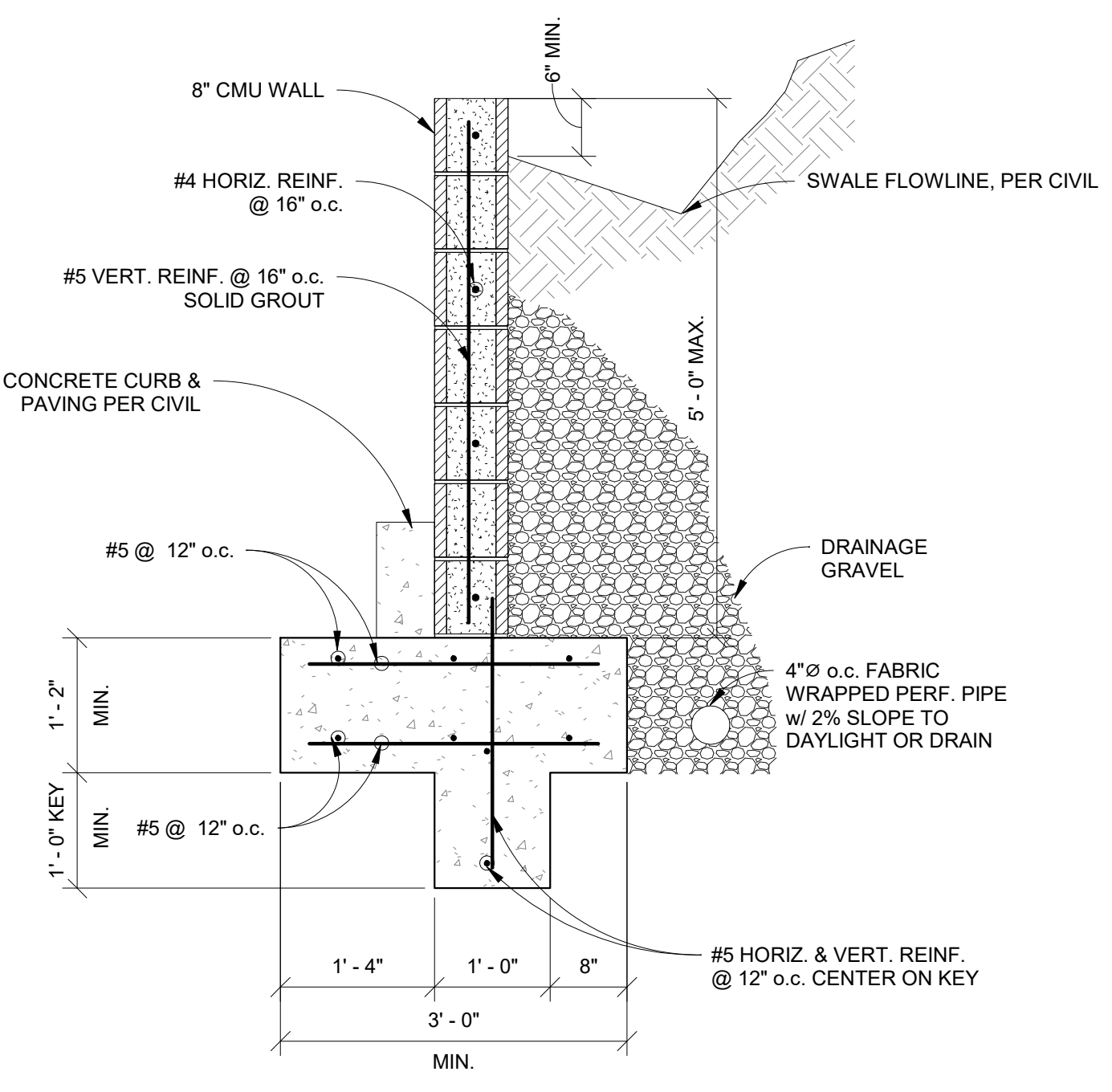
Submitted by: K7 Construction, Inc.

Approved by: _____

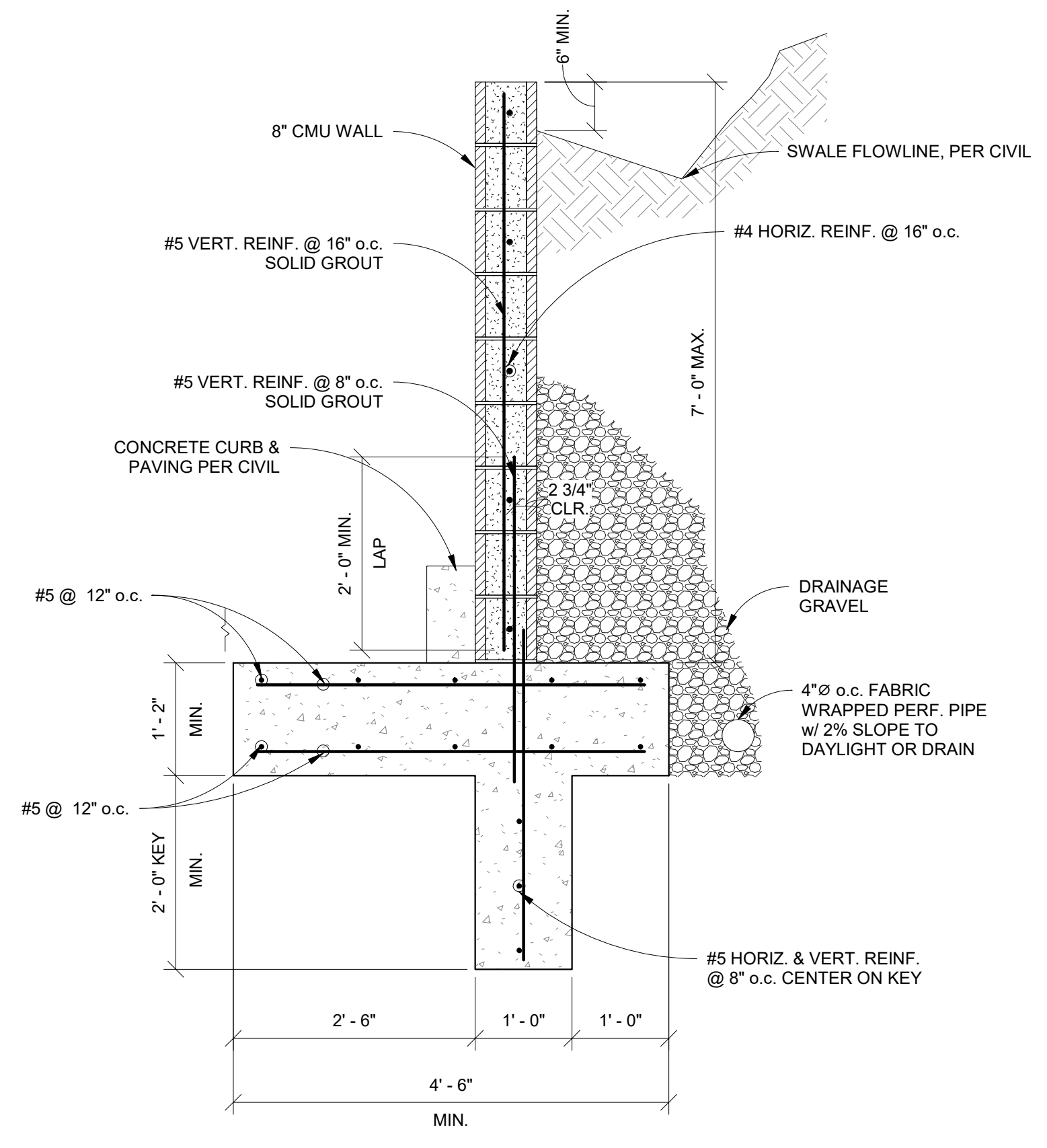
Date: _____



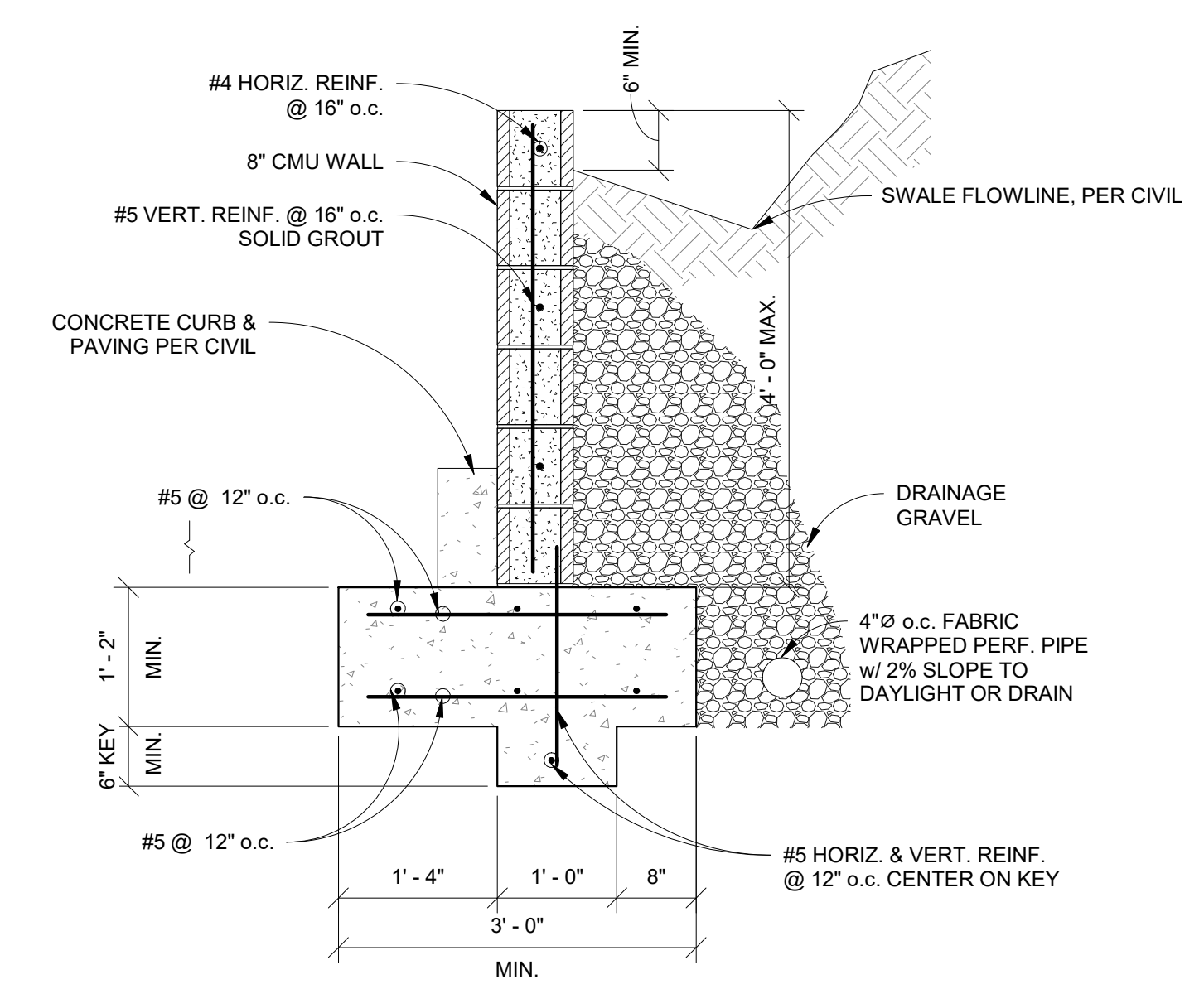
1 RETAINING WALL FOUNDATION PLAN
 S101 SCALE: 3/16" = 1'-0"



3 RETAINING WALL SECTION
 S101 SCALE: 3/4" = 1'-0"



2 RETAINING WALL SECTION
 S101 SCALE: 3/4" = 1'-0"



4 RETAINING WALL SECTION
 S101 SCALE: 3/4" = 1'-0"

Paul Cavin Architect LLC
 1575 Delucchi Lane, Suite 120
 Reno, Nevada 89502
 office: (775) 284-7083
 mobile: (775) 842-0261
 www.paulcavindesign.com
 paul@paulcavindesign.com

professional seal

 02/05/2025

consultant

 950 SANDHILL RD, SUITE 100
 RENO, NV 89521
 TEL: 775.827.6111

project
LOCKWOOD SENIOR CENTER CONFORMED SET
STOREY COUNTY
 800 Peri Ranch Road
 Storey County, Nevada 89434

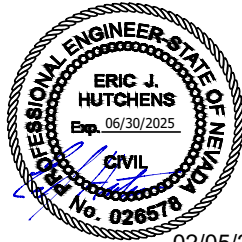
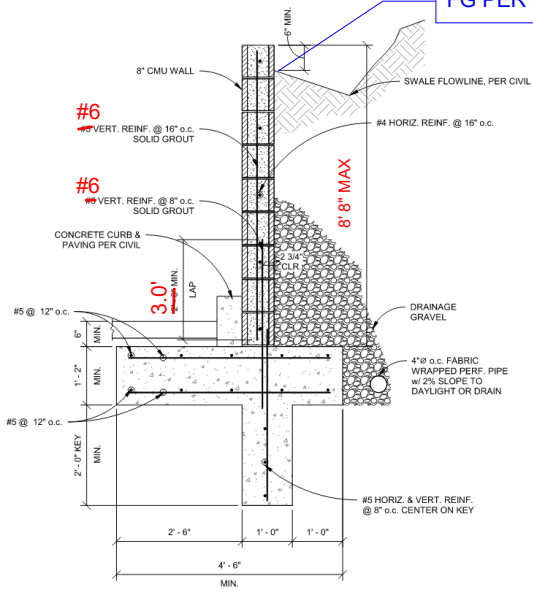
revisions

No.	Description	Date

drawn by K.L.Q.
 reviewed by D.C.R.
 date AUGUST 6, 2024
 project number 10119.005
 drawing name

Retaining Wall
 sheet number
S101

FG PER C500

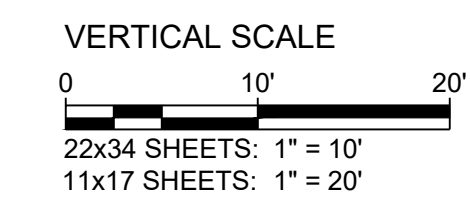
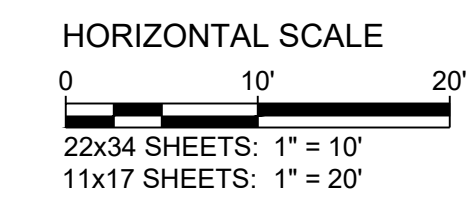
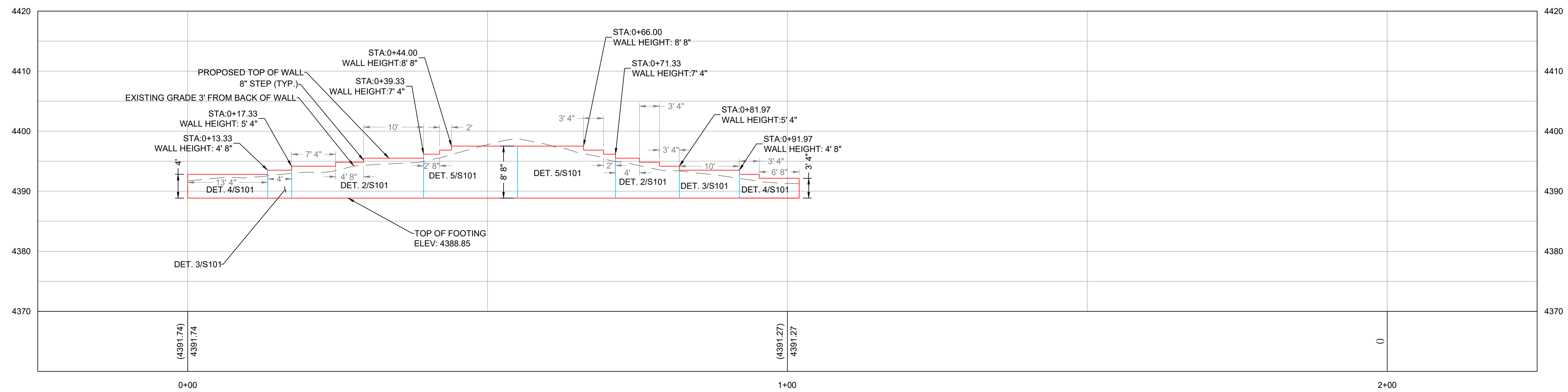


02/05/2025

5 RETAINING WALL SECTION
SCALE: 3/4" = 1'-0"



RETAINING WALL (1) - STA:-0+25 TO STA:2+25



STOREY COUNTY
LOCKWOOD SENIOR CENTER
RETAINING WALL PLAN & PROFILE
RFI #048
NEVADA
LOCKWOOD

REV.	DATE	DESCRIPTION

BAR IS 1 INCH ON ORIGINAL DRAWING
0 1'

IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY

FIG 1

DRAWN BY: CVJ
DESIGNED BY: CVJ/EH
CHECKED BY: CVJ
JOB NO.: 10119.005

BID DATE: 02/17/2025

BID# 089

PROJECT:	Lockwood Senior Center Retaining Wall
ATTENTION:	David Boyle
CONTRACTOR:	K7 Construction INC.

SHEETS USED FOR BID: BID SET, DATED
 ADDENDUMS NOTED: NONE

AK Rebar agrees to provide the following supplied labor:

A.) BUILDING: Retaining Wall

B.) SITE WORK: NONE

Contractor agrees to pay, to AK Rebar Services LLC., a calculation of money computed as follows:

PRICE FOR SUPPLIED LABOR: \$2,160.00

TOTAL: \$2,160.00

ACCEPTANCE

Contractor: K7 Construction INC.

Subcontractor: AK Rebar Services LLC.

Signature: _____

Signature: _____

Date: _____

Date: _____



EXCLUSIONS

1. ***Site Work, unless specifically listed. Retaining walls, sidewalks, etc.***
2. Labor listed on Camp and or L sheets.
3. Labor for curbs, trenches, equipment pads and sidewalks.
4. Threaded rebar, inserts and sleeves.
5. Testing and Inspection of rebar.
6. Wrapping or greasing any rebar including smooth round dowels, diamond dowels.
7. Hoisting and traffic control.
8. Protective caps for protruding rebar.
9. Anchor bolts, anchor bolt placement or anchor bolt layout.
10. Flood and or water damage to any materials, or damage from other trades etc.
11. Rebar for pipe penetrations.
12. **Drilling and/or epoxy any rebar.**
13. Duro wall and/or masonry rebar petitioners.
14. Epoxy rebar and epoxy tie wire.
15. Lines, grades, templates and elevations AK REBAR will tie to provide template 3” clearance.
16. Labor for precast structures.
17. Field bending or straightening of any dowels.
18. CG 20/10 1185 forms or any similar.
19. Layout for control joints, tool joints, openings, end of walls, any type of columns and piers.
20. Cost of bonds permits, special inspections.
21. Welding of any rebar to embeds, structural steel columns, beams, steel plates etc.
22. **NO SMOOTH OR CJ DOWELS**
23. Supporting of the mesh
24. Engineer’s stamp
25. Masonry Reinforcing
26. Masonry Layout
27. Placement of dobies outside of regular working hours (7:00am - 3:30pm)
28. Supplying reinforcing steel for hold downs nor providing labor for reinforcement of hold downs
29. Supplying panel pick point steel nor provide labor for panel pick point reinforcement
30. Installation of panel inserts
31. Forklift
32. No placement or removal of snow blankets
33. Stand by time for removal of blankets



SITE SPECIFIC EXCLUSIONS

34. NONE



CONDITIONS OF AGREEMENT:

1. This proposal is effective for a period of 10 days from date hereof. AK REBAR reserves the right to renegotiate price if written notification of acceptance is not provided.
2. Terms of payment: Payments shall be made on a net 30 day basis. In the event the contractor does not make payment, within the agreed time periods; AK REBAR will have the right to vacate the jobsite, without penalty until money due are paid in full right to vacate the jobsite, without penalty until monies due are paid in full.
3. Contractor to provide a complete set of plans and specifications for the project; along with an adequate written schedule. Contractor shall furnish design information, location of pour joints and construction schedules in sufficient time to allow for preparation and approval of detailed drawings. Plus a minimum of seven (7) working days for fabrication and delivery.
4. Contractor agrees to give AK REBAR adequate notice for workmen required at the jobsite. Contractor agrees that all forms and templates will be in place before installation of reinforcing steel; except those forms or other material that will hinder the installation.
5. Accessories and tie wire not included with supply only items (F.O.B.).
6. Contractor shall provide, at no cost to AK REBAR, properly manned hoisting facilities to unload trucks, move materials or prefabricated items and men to working levels. Beams, columns and wall curtains shall be tied in place, unless mutually agreed otherwise. No added accessories or support rebar for pre-assembled items are included. (ie. concrete, dobies, plastic chairs, "Rack Bars")
7. AK REBAR is not responsible for jobsite conditions that violate OSHA standards or local governing authorities; including Rebar end protection, shoring, walkways, scaffolding, trenches, etc. Contractor shall supply and install adequate protection to insure the safety of those working above exposed reinforcing steel.
8. This proposal is between AK REBAR and (...). Payment and change orders are not contingent upon any third parties. Change orders must be included in the pay application directly following their completion.
9. This proposal must be included in a contract joined into AK REBAR , including all exclusions and inclusions



Reno
 1300 Marietta Way
 Sparks, Nevada 89431
 Phone: 775-501-6700

Quotation

Quote No **29500**
Quote Date **02/13/2025**
Expiration Date 03/15/2025
Customer 101
Contact Name David Boyle
Contact Number 775
Job
Your Ref Lockwood Senior Center
Delivery On 02/13/25
Taken By Clayton Tate
Sales Rep JWG

Invoice Address
 K7 Construction Inc
 5985 HOME GARDENS SUITE D
 RENO, NV, 89502

Delivery Address
 K7 Construction Inc
 5985 HOME GARDENS SUITE D
 RENO, NV, 89502



Page 1 of 1

Special Instructions

Notes

Line	Product Code	Description	Qty/Footage	Price	UOM	Total
1		FOUNDATION PACKAGE FOR RETAINING WALL				
2		Rebar Package	1			2,307.20
6		MASONRY PACKAGE FOR RETAINING WALL				
7		Rebar Package	1			732.55
11	Rebar Detailing	Rebar Detailing				300.00

By your signature below, you are agreeing to the Terms and Conditions set forth on back or attached.

 Buyer Date

Total Amount	\$3,339.75
Sales Tax 8.265%	\$251.24
Quotation Total	\$3,590.99

PLEASE READ BEFORE YOU SIGN PRODUCTS SOLD HERE ARE FOR PROFESSIONAL USE ONLY NOTE: WHEN ADVICE IS REQUESTED FROM CONCRETE ACCESSORIES, IT IS GIVEN WITH GOOD INTENT FROM THAT PERSON'S OWN EXPERIENCE WITH OUR PRODUCTS AND SYSTEMS. EACH APPLICATOR MUST DETERMINE FROM HIS OR HER OWN EXPERIENCE THAT THE ADVICE GIVEN IS APPROPRIATE FOR HIS OR HER PARTICULAR JOB APPLICATION. APPLY AND EVALUATE. DO A TEST AREA. DETERMINE FOR YOURSELF THAT THE PRODUCT SELECTED MEETS YOUR JOB REQUIREMENT. ALWAYS REFER TO THE PRODUCT TECHNICAL AND SAFETY DATA SHEETS PRIOR TO USE. (AVAILABLE ON REQUEST)

Return Policy: All items to be returned must have a receipt. Items must be in original unopened packaging and must be returned within 30 days of purchase. Restocking fee may apply. Special-Order items non-refundable.



Kawcak Masonry, Inc

CA License #993865 NV License #017970

Today's Date

2/10/25

CHANGE ORDER REQUEST: RFI 048 Added CMU at Retaining wall

K7 Builders

Project: Lockwood Senior Center

Scope of Work Additional Work

Added CMU due to revised heights and length by engineer at retaining wall

Add expansion joints at 12'0" o.c. / 16 height changes at top of wall

Added CMU, mortar and caps (340 Units plus 90 halves) MATERIAL

\$5,346.00

Added Labor for Retaining wall changes

\$5,832.00

Added equipment and sawing for retaining wall changes

\$972.00

12% markup

\$1,458.00

Total Requested Change Order

\$13,608.00

7955 Sugar Pine Ct, Suite # 150 Reno, NV 89523
Phone: (775) 624-6422 / Cell: (775) 720-3300 / Fax: (775) 624-6839



P.O. Box 2597 Sparks Nevada 89432--775-657-9697--NCL 84821 Limit \$2,000,000.00

Attention: David Boyle, K7

Date: February 12, 2025

Reference: Lockwood Senior Center Change Order #5 Retaining Wall Addition

Taurus Construction is pleased to provide a formal proposal for the above-mentioned project. All information is based off information provided.

Re-excavate approx. 45LF of previously excavated footing, to add required width. Excavate an additional 20LF of required length. Re-moisture condition and compact previously tested footings. Moisture condition and compact additional footings, buy/haul and place additional $\frac{3}{4}$ drain rock for extended retaining wall. Provide and install additional 4" fabric wrapped perforated pipe. Grade additional liner footage of drainage swales on top of retaining wall.

Labor:	\$8,960.00
Equipment:	\$10,535.00
Material:	<u>\$3,789.28</u>
Subtotal:	\$23,284.28
15% OH&P:	<u>\$3,492.64</u>
Grand Total:	\$26,776.92

Exclusions are as follows: Inspections, Bonding, Permits and Fees by others, SWPP, As-Built drawings, Excavation outside our scope, Landscape repair by others, Rock Clause will be included in the event that splitting, blasting or additional equipment is required to remove or relocate, Testing/Certification of hardscape, locating and or repairing any private underground utility (irrigation, electrical, comm, water etc.) not marked out by owner or owner representative prior to our excavation, unknown or unforeseen changes will be billed out on a time and material basis.

If you have any questions about this proposal, please contact me at 775-750-8264

Respectfully,

Tyler Elrod

Valley Concrete Co., Inc.**CHANGE ORDER**

601 S. 15th St.

Sparks, NV 89431

PH.(775) 329-0656 FAX(775) 329-4159

NV LIC # 8697A &27598 license limit - unlimited

PROPOSAL SUBMITTED TO K7	PHONE 775-826-8872	DATE February 6, 2025
ADDRESS 5985 HOME GARDENS, UNIT D	JOB NAME LOCKWOOD SENIOR CENTER	
CITY, STATE AND ZIP CODE RENO, NV. 89502	JOB LOCATION	
	fax david.boyle@k7c.com	JOB PHONE

WE HEREBY SUBMIT SPECIFICATIONS AND ESTIMATES FOR

CHANGE IN RETAINING WALL FOOTING. \$6,337.00

LABOR \$3,803.00

MATERIAL \$2,534.00

NO REBAR.
INCLUDES: CONCRETE.

We propose hereby to furnish Material and Labor - complete with above specifications, for the sum of:
As noted above dollars (\$ _____)

Payment to be made as follows: **NET 30 DAYS**

All material is guaranteed to be as specified. All work to be completed in a workmanlike manner according to standard practices. Any alteration or deviation from above specifications involving extra costs will be executed only upon written orders, and will become an extra charge over and above the estimate. All agreements contingent upon strikes, accidents or delays beyond our control. Owner to carry fire, tornado, and other necessary insurance. Our workers are fully covered by Workman's Compensation Insurance.

Authorized Signature 

PROJECT MANAGER/ESTIMATOR: TONY A. BAUER Note: This proposal may be withdrawn by us if not accepted within 30 days

Residential Construction Recovery Fund
Payment may be available from the Recovery Fund if you are damaged financially by a project performed on your residence pursuant to a contract, including, construction, remodeling, repair or other improvements, and the damage resulted from certain specified violations of Nevada law by a contractor licensed in this State. To obtain information relating to the Recovery Fund and filing a claim for recovery from the Recovery Fund, you may contact the State Contractors Board at the following locations:
State Contractors' Board - 9670 Gateway Dr. Ste 100 Reno NV 89521 775-688-1141
State Contractors' Board - 2310 Corporate Circle Ste 200 Henderson NV 89074 702-486-1100

Acceptance of Proposal
conditions are satisfactory and are hereby accepted. The above prices, specifications and do the work specified. Payment will be made as outlined above.

Signature _____

Date of Acceptance _____ **Signature** _____

SIGN BOTH COPIES AND RETURN 1 COPY



Board of Storey County Commissioners Agenda Action Report

**Meeting date: 3/18/2025 10:00 AM -
BOCC Meeting**

Estimate of Time Required: 10

Agenda Item Type: Discussion/Possible Action

- **Title:** Consideration and possible approval to accept a contract for the remodel of the restrooms at the Virginia City Senior Center to bring them into compliance with the Americans with Disabilities Act from Shakespeare Unlimited construction in an amount of \$77,553.00 with a 10% contingency for a total not to exceed \$85,308.30. This project is partially funded by a grant from Aging and Disability Services Division ARPA in the amount of \$45,000.
- **Recommended motion:** I, [commissioner], move to accept a contract for the remodel of the restrooms at the Virginia City Senior Center to bring them into compliance with the Americans with Disabilities Act from Shakespeare Unlimited construction in an amount of \$77,553.00 with a 10% contingency for a total not to exceed \$85,308.30. This project is partially funded by a grant from Aging and Disability Services Division ARPA in the amount of \$45,000
- **Prepared by:** Mike Northan

Department: Public Works

Contact Number: 7752304255

- **Staff Summary:** This work is to update the restrooms at the Virginia City Senior Center and make them ADA accessible. This facility serves primarily a senior population and this effort will make the restrooms easier to access and use for persons with mobility or other disabilities. The scope of work was determined by coordination with Director York, the project manager, and consultants. This proposed contract has been reviewed by the DA's office.
- **Supporting Materials:** See Attachments
- **Fiscal Impact:** \$85,308.30
- **Legal review required:** TRUE
- **Reviewed by:**

____ Department Head

Department Name:

____ County Manager

Other Agency Review: _____

- **Board Action:**

<input type="checkbox"/> Approved	<input type="checkbox"/> Approved with Modification
<input type="checkbox"/> Denied	<input type="checkbox"/> Continued



Storey Senior Citizens Center Renovation
100 Mill Street
Virginia City, NV 89440

Date: 2/18/2025

EXHIBIT "A"
QUALIFICATIONS / EXCLUSIONS / ALTERNATES

QUALIFICATIONS

Demolition:

Tile surrounds from wet walls
Existing water closets and urinal
Partitions
Flooring
Sinks
Counter tops and brackets
Restroom accessories
Doors and frames
Lighting

New Construction (Furnish and Install):

Provide professionally drawn Architectural drawings for submittal to Storey County Building Department
Reframe openings for ADA width entry doors (2)
Install backing for all new wall mounted equipment and partitions
Install 1/4" Halex underlayment
Install sheet vinyl flooring with 6" self cove up walls
(2) Corian counter tops with 6" splashes with holes for (2) sinks
Under frame work to include P Trap angled cover with simple removal
Reconfigure waste and water at (4) lavatory locations
(4) 20x17 China self rim lavatories with sensor faucets
Cap waste and water at (1) urinal and (1) lavatory location
Add (2) new water closets
Safe off current electrical for demolition
Provide and install (5) 6" diameter recessed can lights with LED trims in each restroom total of (10)
Reuse existing circuit and switching for lighting
Provide (1) new 20A GFI pugs in each restroom a total of (2)
Assumed panel to be max of 100' away with clear access
Architectural draft drawings for ADA restrooms
Written response to building department comments
Work to be performed in both restroom concurrently
Mobile sanitary restroom for Senior Center use only is included during the duration of the project

EXCLUSIONS

Permit Fees

Insulation

Any and All Work to Existing HVAC Unit

Any work not specifically listed above

All Drywall Assemblies

FRP Finishes

All Painting / Staining

Toilet Partitions

Restroom Accessories and Baby Changing Station

Doors, Frames and Hardware

ALTERNATES

All Drywall Assemblies

FRP Finishes

All Painting / Staining

Toilet Partitions

Restroom Accessories and Baby Changing Station

Doors, Frames and Hardware



Storey Senior Citizens Center Renovation
100 Mill Street
Virginia City, NV 89440

Revision Date: 2/18/2025

EXHIBIT "B"
DEVELOPMENT COST SUMMARY

Storey Senior Citizens Center Renovation

Construction	\$	59,987
Contractor Fee	\$	11,997
Indirect Costs	\$	1,432
Professional Design Fees	\$	4,137
TOTAL DEVELOPMENT COSTS	\$	77,553

CONSTRUCTION AGREEMENT

THIS CONSTRUCTION AGREEMENT (the "Agreement") is dated this 18th day of February, 2025.

CLIENT

Storey County Public Works
26 South B Street Virginia City, NV 89440
(the "Client")

CONTRACTOR

Shakespeare Unlimited
312 Stewart Street Reno, NV 89502
(the "Contractor")

BACKGROUND

- A.** The Client is of the opinion that the Contractor has the necessary qualifications, experience and abilities to provide consulting services to the Client.
- B.** The Contractor is agreeable to providing such consulting services to the Client on the terms and conditions set out in this Agreement.

IN CONSIDERATION OF the matters described above and of the mutual benefits and obligations set forth in this Agreement, the receipt and sufficiency of which consideration is hereby acknowledged, the Client and the Contractor (individually the "Party" and collectively the "Parties" to this Agreement) agree as follows:

SERVICES PROVIDED

- 1.** The Client hereby agrees to engage the Contractor to provide the Client with the following services (the "Services"):
 - Reference Storey Senior Citizens Center Renovation, Exhibit "A" Qualifications / Exclusions / Alternates dated, 2/18/2025.
- 2.** The Services will also include any other tasks which the Parties may agree on. The Contractor hereby agrees to provide such Services to the Client.
- 3.** The Services exclude the following:
 - Permits Fees will be billed as a Separate Reimbursable
 - Insulation
 - Any and All Work to Existing HVAC System
 - Any and All Work Not Specifically Listed

- All Drywall Assemblies
 - All Painting / Staining
 - Toilet Partitions
 - Restroom Accessories and Baby Changing Station
 - Doors, Frames and Hardware
4. The term of this Agreement (the "Term") will begin on the date of this Agreement and will remain in full force and effect until the completion of the Services, subject to earlier termination as provided in this Agreement. The Term may be extended with the written consent of the Parties.
5. In the event that either Party wishes to terminate this Agreement prior to the completion of the Services, that Party will be required to provide 10 days' written notice to the other Party.

PERFORMANCE

6. The Parties agree to do everything necessary to ensure that the terms of this Agreement take effect.

CURRENCY

7. Except as otherwise provided in this Agreement, all monetary amounts referred to in this Agreement are in USD (US Dollars).

COMPENSATION

8. The Contractor will charge the Client a flat fee of \$77,553.00 for the Services (the "Compensation"). Reference Storey Senior Citizens Center Renovation, Exhibit "B" Development Cost Summary, dated 2/18/2025.
9. The Client will be invoiced as follows: On the 1st of every month for the work completed to date, or upon completion of the scope above.
10. Invoices submitted by the Contractor to the Client are due within 10 days of receipt.

REIMBURSEMENT OF EXPENSES

11. The Contractor will be reimbursed from time to time for reasonable and necessary expenses incurred by the Contractor in connection with providing the Services.
12. All expenses must be pre-approved by the Client.

INTEREST ON LATE PAYMENTS

13. Interest payable on any overdue amounts under this Agreement is charged at a rate of 12.00%

per annum or at the maximum rate enforceable under applicable legislation, whichever is lower.

TRADE SECRETS

- 14.** Trade secrets (the "Trade Secrets") include but are not limited to any data or information, technique or process, tool or mechanism, formula or compound, pattern or test results relating to the business of the Client, which are secret and proprietary to the Client, and which give the business a competitive advantage where the release of that Trade Secret could be reasonably expected to cause harm to the Client.
- 15.** The Contractor agrees that they will not disclose, divulge, reveal, report or use, for any purpose, any Trade Secrets which the Contractor has obtained, except as authorized by the Client or as required by law. The obligations of confidentiality will apply during the Term and will survive indefinitely upon termination of this Agreement.

OWNERSHIP OF INTELLECTUAL PROPERTY

- 16.** All intellectual property and related material, including any Trade Secrets, moral rights, goodwill, relevant registrations or applications for registration, and rights in any patent, copyright, trademark, trade dress, industrial design and trade name (the "Intellectual Property") that is developed or produced under this Agreement, is a "work made for hire" and will be the sole property of the Client. The use of the Intellectual Property by the Client will not be restricted in any manner.
- 17.** The Contractor may not use the Intellectual Property for any purpose other than that contracted for in this Agreement except with the written consent of the Client. The Contractor will be responsible for any and all damages resulting from the unauthorized use of the Intellectual Property.

RETURN OF PROPERTY

- 18.** Upon the expiration or termination of this Agreement, the Contractor will return to the Client any property, documentation, records, or confidential information which is the property of the Client.

CAPACITY/INDEPENDENT CONTRACTOR

- 19.** In providing the Services under this Agreement it is expressly agreed that the Contractor is acting as an independent contractor and not as an employee. The Contractor and the Client acknowledge that this Agreement does not create a partnership or joint venture between them, and is exclusively a contract for service. The Client is not required to pay, or make any contributions to, any social security, local, state or federal tax, unemployment compensation, workers' compensation, insurance premium, profit-sharing, pension or any other employee benefit for the Contractor during the Term. The Contractor is responsible for paying, and complying with reporting requirements for, all local, state and federal taxes related to payments made to the Contractor under this Agreement.

RIGHT OF SUBSTITUTION

- 20.** Except as otherwise provided in this Agreement, the Contractor may, at the Contractor's absolute discretion, engage a third party sub-contractor to perform some or all of the obligations of the Contractor under this Agreement and the Client will not hire or engage any third parties to assist with the provision of the Services.
- 21.** In the event that the Contractor hires a sub-contractor:
- the Contractor will pay the sub-contractor for its services and the Compensation will remain payable by the Client to the Contractor .
 - for the purposes of the indemnification clause of this Agreement, the sub-contractor is an agent of the Contractor.

AUTONOMY

- 22.** Except as otherwise provided in this Agreement, the Contractor will have full control over working time, methods, and decision making in relation to provision of the Services in accordance with the Agreement. The Contractor will work autonomously and not at the direction of the Client. However, the Contractor will be responsive to the reasonable needs and concerns of the Client.

EQUIPMENT

- 23.** Except as otherwise provided in this Agreement, the Contractor will provide at the Contractor's own expense, any and all equipment, software, materials and any other supplies necessary to deliver the Services in accordance with the Agreement.

NO EXCLUSIVITY

- 24.** The Parties acknowledge that this Agreement is non-exclusive and that either Party will be free, during and after the Term, to engage or contract with third parties for the provision of services similar to the Services.

NOTICE

- 25.** All notices, requests, demands or other communications required or permitted by the terms of this Agreement will be given in writing and delivered to the Parties at the following addresses:

a. Mike Northan
PO Box 435 Virginia City, NV 89440
Email: mnorthan@storeycounty.org
Tel: (775) 847-0958

b. Jason Shakespeare
312 Stewart Street Reno, NV 89502

Email: jasons@shakespeareunlimitedinc.com

Tel: (775) 786-0860

or to such other address as either Party may from time to time notify the other, and will be deemed to be properly delivered (a) immediately upon being served personally, (b) two days after being deposited with the postal service if served by registered mail, or (c) the following day after being deposited with an overnight courier.

INDEMNIFICATION

26. Except to the extent paid in settlement from any applicable insurance policies, and to the extent permitted by applicable law, each Party agrees to indemnify and hold harmless the other Party, and its respective directors, stockholders, affiliates, officers, agents, employees, and permitted successors and assigns against any and all claims, losses, damages, liabilities, penalties, punitive damages, expenses, reasonable legal fees and costs of any kind or amount whatsoever, which result from or arise out of any act or omission of the indemnifying party, its respective directors, stockholders, affiliates, officers, agents, employees, and permitted successors and assigns that occurs in connection with this Agreement. This indemnification will survive the termination of this Agreement.

MODIFICATION OF AGREEMENT

27. Any amendment or modification of this Agreement or additional obligation assumed by either Party in connection with this Agreement will only be binding if evidenced in writing signed by each Party or an authorized representative of each Party.

TIME OF THE ESSENCE

28. Time is of the essence in this Agreement. No extension or variation of this Agreement will operate as a waiver of this provision.

ASSIGNMENT

29. The Contractor will not voluntarily, or by operation of law, assign or otherwise transfer its obligations under this Agreement without the prior written consent of the Client.

ENTIRE AGREEMENT

30. It is agreed that there is no representation, warranty, collateral agreement or condition affecting this Agreement except as expressly provided in this Agreement.

ENUREMENT

31. This Agreement will enure to the benefit of and be binding on the Parties and their respective heirs, executors, administrators and permitted successors and assigns.

TITLES/HEADINGS

32. Headings are inserted for the convenience of the Parties only and are not to be considered when interpreting this Agreement.

GENDER

33. Words in the singular mean and include the plural and vice versa. Words in the masculine mean and include the feminine and vice versa.

GOVERNING LAW

34. This Agreement will be governed by and construed in accordance with the laws of the State of Nevada.

SEVERABILITY

35. In the event that any of the provisions of this Agreement are held to be invalid or unenforceable in whole or in part, all other provisions will nevertheless continue to be valid and enforceable with the invalid or unenforceable parts severed from the remainder of this Agreement.

WAIVER

36. The waiver by either Party of a breach, default, delay or omission of any of the provisions of this Agreement by the other Party will not be construed as a waiver of any subsequent breach of the same or other provisions.

IN WITNESS WHEREOF the Parties have duly affixed their signatures under hand on this 18th day of February, 2025.

Michael Northan, Storey County

Shakespeare Unlimited

Jason Shakespeare

NV License # 0086364 / 0086369
CA License #1066261

From: Brian Brown
Sent: Mon, 24 Feb 2025 16:45:45 +0000
To: Anne Langer;Michael Northan
Subject: Re: Storey Senior Center Agreement

Hi Mike,

This contract is approved from a legal standpoint.

Brian

Brian Brown, DDA
Storey County
bmbrownesq@gmail.com
(775)846-1056

This e-mail may contain confidential and privileged material for the sole use of the intended recipient(s). Any review, use, distribution or disclosure by others is strictly prohibited. If you are not the intended recipient (or authorized to receive for the recipient), please contact the sender by reply e-mail and delete all copies of this message.

From: Anne Langer <alanger@storeycounty.org>
Date: Wednesday, February 19, 2025 at 4:28 PM
To: Brian Brown <bmbrownesq@gmail.com>
Subject: Fwd: Storey Senior Center Agreement

Sent from my iPhone

Begin forwarded message:

From: Michael Northan <mnorthan@storeycounty.org>
Date: February 19, 2025 at 2:45:27 PM PST
To: Anne Langer <alanger@storeycounty.org>
Cc: Brian Brown <bmbrownesq@gmail.com>, Stacy York <syork@storeycounty.org>
Subject: FW: Storey Senior Center Agreement

Good afternoon Anne,

The attached contract for construction is for the ADA remodel of the restrooms at the Virginia City Senior Center. Please review and comment.

Due date March 5 if that works for you..

Thanks!!

Mike Northan
Operations and Projects Coordinator
Storey County
775 230 4255
Mailing Address
PO Box 435
Virginia City NV 89440
Office 775-847-0958
Fax 775-847-0947
Storey County is an Equal Opportunity Provider.

CONFIDENTIALITY DISCLAIMER:

This e-mail and any attachments are intended only for use by the addressee(s) named herein and may contain legally privileged and/or confidential information. If you are not the intended recipient, any dissemination, distribution or copying of this e-mail and any attachments is strictly prohibited. If you have received this e-mail in error, please immediately notify me and permanently delete the original and all copies and printouts of this e-mail and any attachments.

From: Kelly Delano <kelly@shakespeareunlimitedinc.com>
Sent: Tuesday, February 18, 2025 3:12 PM
To: Michael Northan <mnorthan@storeycounty.org>
Cc: Jason S <jasons@shakespeareunlimitedinc.com>
Subject: Storey Senior Center Agreement

Hi Mike,

Attached for review, please find a contract for the Storey Senior Center Renovation Project in the amount of \$77,553.00.

Additionally, I have attached an add alternate estimate for the additional scope that was broken out of our original bid. Upon review, please let us know if you have any questions.

Thank you,
Kelly

Kelly Delano
Shakespeare Unlimited
312 Stewart Street, Reno, NV 89502
P 775.786.0860 / C 775.527.3773

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any disclosure, copying, distribution or use of the contents of this message is strictly prohibited. If you have received this electronic message in error, please notify the sender immediately and delete the message. Thank you for your cooperation.

WARNING! WIRE FRAUD ADVISORY: I will never ask you for money via wire. Wire fraud and email hacking/phishing attacks are on the increase!

If you have a transaction with our office and you receive an email containing Wire Transfer Instructions, **DO NOT RESPOND TO THE EMAIL!**

Instead, call our office immediately, using previously known contact information and **NOT** information provided in the email, to verify the information prior to sending funds.



Board of Storey County Commissioners Agenda Action Report

**Meeting date: 3/18/2025 10:00 AM -
BOCC Meeting**

Estimate of Time Required: 30 min.

Agenda Item Type: Discussion/Possible Action

- **Title:** Discussion and possible consideration approving the County Manager to approve and sign a contract with RCG Economics to provide economic and fiscal advice and review to Storey County on an on-call basis as related to government and regional affairs and legislative matters for the 2025 general and interim legislative session, not to exceed \$100,000.
- **Recommended motion:** I (commissioner) motion to approve the County Manager to approve and sign a contract with RCG Economics to provide economic and fiscal advice and review to Storey County on an on-call basis as related to government and regional affairs and legislative matters for the 2025 general and interim legislative session, not to exceed \$100,000.
- **Prepared by:** Austin Osborne

Department: Commissioners

Contact Number: 775.847.0968

- **Staff Summary:** This contract will enable the county to obtain specialized economic and fiscal guidance and data review on matters affecting Storey County from proposed State legislation, executive directives, and regional legislative and fiscal matters on an as-needed basis.
- **Supporting Materials:** See Attachments
- **Fiscal Impact:**
- **Legal review required:** TRUE
- **Reviewed by:**

____ Department Head

Department Name:

____ County Manager

Other Agency Review: _____

- **Board Action:**

<input type="checkbox"/> Approved	<input type="checkbox"/> Approved with Modification
<input type="checkbox"/> Denied	<input type="checkbox"/> Continued

February 11, 2025

Mr. Austin Osborne
County Manager
Storey County
26 South B Street

Re: *On-Call Professional Services*

Dear Mr. Osborne:

This engagement letter confirms that you desire to retain the services of RCG Economics (“RCG”) to provide economic and fiscal advice to Storey County (“the Client”) on an on-call basis. These services are to be provided in furtherance of your internal strategic planning needs during the 2025 Nevada Legislative session. Our consulting efforts will be under the direction of John Restrepo, Principal of RCG.

Our engagements are structured to foster a long-term, strategic partner with our clients. For this reason, our engagements normally comprise assistance in multiple areas to ensure that our clients’ needs are met. Although select engagements for certain public and private clients may entail the research and analysis to answer a single question in a relatively short timeframe, a number of our projects involve multiple questions that must be addressed.

Our Understanding

RCG provides services in three different ways: lump-sum, monthly retainer and hourly. We understand that for this engagement, RCG will use a combination of lump-sum and hourly rate services to address certain technical aspects of the Initiative as determined by the Client on an as needed basis.

RCG Team

As noted above, the RCG team for this engagement will be led by John Restrepo, RCG Principal, as project director, and Cameron Belt as senior economist/research director. John and Cameron will also be supported by administrative and research staff. As a point of information, John has 46 years of experience as a regional/urban economist, 37 of those years have been in Nevada. Cameron has 14 years’ experience.

Scope of Services

We expect that our services will be a combination of technical memorandums, correspondence and verbal advice through meetings and telephone/virtual consultation, to the Client’s legislative needs.

It should be noted that we cannot make any assurances as to the availability of any third party information you request, nor can we make any representations relating to the accuracy of any of the third party data we obtain and assemble on your behalf, which is part of this engagement letter.



Confidentiality

Our personnel understand that they are subject to and will abide by any reasonable confidentiality restrictions. In addition, we will treat as confidential documents or other information made available to us in connection with this engagement. We will take appropriate steps to segregate all material related to our work in this engagement from other files in our offices.

Term of Engagement

Our research and reporting shall be on an “on-call” basis starting effectively on the date the Client signs this engagement letter in the space provided on page 3, and shall continue until terminated by either party with 30-day notice. For this engagement, RCG will provide its professional services in two different ways depending on the assignment – lump-sum or hourly. In the case of our lump-sum services, RCG will provide a Work Order to the Client along with an associated budget. In addition to requiring written authorization to proceed for each Work Order, RCG will also require an upfront retainer of 50% of the estimated professional fees shown in each Work Order before we initiate our services. In the case of assignments that are best suited for our hourly rate services (see hourly rates below), RCG will require a signed Work Order and payment within one week of the providing these services to the Client.

Fees, Expenses and Terms

The Client acknowledges the obligation to pay RCG for the advisory services rendered under this engagement letter arising from its requests for services. These services will be providing at the hourly rates in effect at the time Work Orders are requested for the personnel utilized as shown below. We will bill for the professional services rendered and for any direct/out-of-pocket expenses related to those services requested by the Client during the previous month. Lump-sum and hourly rate payments are due upon the Client’s receipt of our invoices.

Our current hourly rates for personnel who we expect to utilize are delineated below:

<u>Staff</u>	<u>Hrly Rate</u>
Project Director	\$250.00
Research Director	\$175.00
Analyst	\$150.00
Administrative	\$ 75.00

Our hourly rates will be reviewed and modified January of each year, to reflect increases in our costs. We will advise you of the level of increase, prior to providing additional services at the updated hourly rates.

Standard Assumptions & Indemnification

This work scope will be performed according to the *Standard Assumptions & Limiting Conditions* detailed in the Attachment 1 to this proposal.

The Client agrees to indemnify RCG, its partners, principals and employees, and hold them harmless from and against any and all liabilities or obligations (including, but not limited to, attorney’s fees) that arise directly from RCG’s services that are the subject of this consulting engagement letter except to the extent that RCG’s conduct was grossly negligent or fraudulent, and that such conduct was the proximate cause of any injury for which RCG is sought to be held liable.

It should be noted that we cannot make any assurances as to the availability of any Client or other third-party information you request, nor can we make any representations relating to the accuracy of any of the third-party data we obtain and assemble on your behalf that is part of this engagement.

Austin Osborne
February 11, 2025
Page 3

The authorized representative of the Client must sign in the places shown below. If you have any questions regarding this engagement letter, please contact John Restrepo at 702-967-3188, ext. 101, or email him at jrestrepo@rcgecon.com. Thank you for giving us the opportunity to assist you on this engagement.

Regards,

RCG Economics LLC

RCG Economics LLC
www.rcgecon.com

Attachment

Agreed to and accepted by on behalf of Storey County:

Austin Osborne, County Manager

Date

Attachment
Standard Assumptions & Limiting Conditions

1. RCG will conduct its research and prepare any written documents using information obtained from third-parties, including the Client, as well as from our internal economic and fiscal databases and sources. Depending on the needs of any specific Work Order, RCG will provide its professional services on a lump-sum, hourly rate or combination of both methods basis.
2. The Client is responsible for representations about its plans and expectations and for disclosure of significant information that might affect the ultimate realization of the results of research and reporting.
3. Our research and reporting will be based on historical and projected industry and regional economic benchmark information. Thus, variations in the future could be material and have an impact on our research and reporting conclusions. Even if our research and reporting hypothetical assumptions were to occur, there will usually be differences between the estimated and actual results. Accordingly, the results of RCG's analyses will apply only to the effective date of our research and reporting.
4. The success of the Client's business strategies and tactics will be affected by many related and unrelated economic conditions, taxes, regulations and laws within local, regional, national and/or world contexts. Unless otherwise stated in our research and reporting, no effort will be made to determine the possible effect, if any, on the research results herein due to changes in local, state and federal taxes, regulations and laws, including any environmental or ecological matters or interpretations thereof.
5. Events and circumstances frequently do not occur as expected and those differences may be material. Accordingly, we have no responsibility to update our research and reporting for events and circumstances occurring after the date of our research and reporting.
6. Information, estimates and opinions furnished to us and contained in our research and reporting, or utilized in the formation of our research and reporting will be obtained from third-party sources considered reliable and believed to be true and correct. However, no representation, liability, or warranty for the accuracy of such items is assumed by or imposed on us and are subject to corrections, errors, omissions and withdrawal without notice.
7. The working papers for this engagement will be retained in the RCG's files and will be made available for your reference. We will make them available to support our research and reporting as required. Those services will be performed for an additional professional fees.
8. All maps, graphics, photographs and images that will be incorporated in our research and reporting are for illustrative purposes only, to assist the reader in visualizing our recommendations and findings in our research and reporting, but are not guaranteed to be exact.
9. The implementation of our research and reporting recommendations and findings will be assumed to be implemented by competent management at the Client. The quality of management can have a direct effect on a client's operational/strategic plan's effective implementatin. RCG's analysis will assume both responsible and competent management by the Client. Any variance from this assumption could have a significant effect on our findings and recommendations.
10. RCG will not perform an audit, review or examination or any other attest function (as defined by the AICPA) regarding any of the third-party historical industry and regional socio-economic benchmarks information used in its work on this matter. Therefore, RCG will not express any opinion or any other form of assurance with regard to the same in the context of its work.



Board of Storey County Commissioners Agenda Action Report

**Meeting date: 3/18/2025 10:00 AM -
BOCC Meeting**

Estimate of Time Required: 30 min.

Agenda Item Type: Discussion/Possible Action

- **Title:** Discussion and consideration directing county staff to draft regulations pertaining to Accessory Dwelling Units in all Residential, Commercial-Residential, Estate, and Planned Unit Development zones (except where prohibited by existing HOA regulations) in Storey County including conducting countywide public surveys, scoping, and community workshops, seeking further direction from the board and planing commission, and including sufficient funds in the FY26 county budget to complete necessary drafting of and consultation for associated regulations and codes. This item is per the requeust of Commissioner Mitchell.
- **Recommended motion:** County staff to draft regulations pertaining to Accessory Dwelling Units in all Residential, Commercial-Residential, Estate, and Planned Unit Development zones (except where prohibited by existing HOA regulations) in Storey County including conducting countywide public surveys, scoping, and community workshops, seeking further direction from the board and planing commission, and including sufficient funds in the FY26 county budget to complete necessary drafting of and consultation for associated regulations and codes. This item is per the requeust of Commissioner Mitchell.
- **Prepared by:** Austin Osborne

Department: Commissioners

Contact Number: 775.847.0968

- **Staff Summary:** This request will necessitate an amendment to Title 17 Zoning of the Storey County Code and action by the Storey County Planning Commission and County Commission. Extensive public involvement will be included in this project.
- **Supporting Materials:** No Attachments
- **Fiscal Impact:**
- **Legal review required:** TRUE
- **Reviewed by:**

_____ Department Head

Department Name:

____ County Manager

Other Agency Review: _____

- **Board Action:**

<input type="checkbox"/> Approved	<input type="checkbox"/> Approved with Modification
<input type="checkbox"/> Denied	<input type="checkbox"/> Continued



Board of Storey County Commissioners Agenda Action Report

Meeting date: 3/18/2025 10:00 AM -
BOCC Meeting

Estimate of Time Required: 30 min.

Agenda Item Type: Discussion/Possible Action

- **Title:** Update, discussion, and provide direction to county staff and lobbyists regarding upcoming bills and legislation affecting Storey County including, but not limited to, the following: SB69 Storey County bill adjusting tax abatement programming, Senate bill(s) regarding regional planning Storey, Washoe, Lyon, Carson, Douglas, and cities, Daly; SB78 as potentially related to the Comstock Historic District Commission; AB77 tax abatement; AB32 V&T Railway, and all bills and resolutions supported by the Nevada Association of Counties (NACO) unless otherwise directed by the board.
- **Recommended motion:** I [county commissioner] motion to direct county staff and lobbyists to represent Storey County on known BDRs, bills, and other potential legislation affecting Storey County as follows: _____.
- **Prepared by:** Austin Osborne

Department: Commissioners

Contact Number: 775.847.0968

- **Staff Summary:** The board at each meeting directs county staff and lobbyists to take certain positions on bills of significance to Storey County. Information on bills affecting the county will be updated periodically throughout the 2025 legislative session at the Storey County website at <https://www.storeycounty.org/654/Legislative-Bills>. Bill text and related information is also available at the Nevada Legislature NELIS system at the following.
 -
 - Senate Bill 69:
<https://www.leg.state.nv.us/App/NELIS/REL/83rd2025/Bill/11869/Text>
 -
 - Senate Bill 78:
<https://www.leg.state.nv.us/App/NELIS/REL/83rd2025/Bill/11891/Text>
 -
 - Other Bills in NELIS:
<https://www.leg.state.nv.us/App/NELIS/REL/83rd2025/Bills/List>
- **Supporting Materials:** See Attachments
- **Fiscal Impact:**

- **Legal review required:** TRUE

- **Reviewed by:**

____ Department Head

Department Name:

____ County Manager

Other Agency Review: _____

- **Board Action:**

<input type="checkbox"/> Approved	<input type="checkbox"/> Approved with Modification
<input type="checkbox"/> Denied	<input type="checkbox"/> Continued

SENATE BILL 69

Sponsors: Senate Committee on Revenue and Finance. Introduced by Storey County.

Introduction

Senate Bill 69 proposes adjustments to NRS 271B, 360.800, and 360.900 enabling counties, cities, and fire districts to participate in the State's approval process for \$1 billion and \$3.5 billion new company investment incentive category tax abatement applications. While Storey County far exceeds any Nevada county or city in abated taxes, SB69 applies to all counties, cities, and fire districts in the state.

Background

The Governor's Office of Economic Development (GOED) grants tax abatements to new companies as dictated by NRS. Tax abatement applications are approved when prospective companies show that they will meet capital investment, employment, average wage, and other required criteria. SB69 applies only to the following two tax abatement categories which are among a variety of others contained in NRS.

- \$1.0 Billion Investment:
 - 75% property tax abatement for 10 years / 100%* sales-and-use tax abatement for 15 years
- \$3.5 Billion Investment:
 - 100% property tax abatement for 10 years / 100%* sales-and-use tax abatement for 20 years

Key Challenges of Current Tax Incentive Framework

Counties, cities, and fire districts per State regulations have no say in GOED's approval of applications for tax abatements, and no consultation occurs with host jurisdictions to determine their capacity to provide police, fire, emergency medical, infrastructure, court, and other civic services to new tax abated companies. Local host jurisdictions may be severely impacted as companies qualifying for these incentive packages are typically large manufacturing employers placing substantial strain on local resources.

Meeting infrastructure and civic demands of new companies is normally mitigated through their tax generation, conditional use permits, impact fees, or other means. These companies pay insufficient or no direct taxes to the host jurisdiction to cover public services, and many local jurisdictions harbor existing entitlement districts or insufficient regulatory framework to impose cost-recovery conditions on these uses. Further, many rural jurisdictions – unlike urban areas and regions – may have few commercial and other uses generating indirect and induced local taxes from construction, employee spending, property sales, increased valuation, and other economic activity indirectly associated with the abated company.

Host counties and cities may negotiate cost-defrayment agreements with companies seeking \$1b and \$3.5b category incentives; however, the agreements are not required, and fire districts are entirely excluded.

Corrective Action Proposed by Senate Bill 69

Senate Bill 69 in summary provides for the following:

- Adds fire districts to local governments which are engaged in the GOED approval process
- Enables local governments to *require* cost-defrayment agreements
- Provides consultation and comment with GOED by local governments
- ~~Allows temporary GOED board representation by local government delegates (*Storey County requested amendment striking out this provision.*)~~
- Provides for confidentiality and non-disclosure during early application stages
- Limits retroactive tax abatements to the current fiscal year of the local government
- Applies only to \$1.0 billion and \$3.5 billion investment incentive categories**
- **Amendment requested by Storey County to remove ALL SB69 provisions related to data centers.



Principals

Will Adler – will@ssgr.us

Sarah Adler – sarah@ssgr.us

Associates

Alex Tanchek – alex@ssgr.us

Conceptual Amendment to SB 69

Proposed by:

Will Adler

Silver State Government Relations

On behalf of Storey County

(775) 230-0247

will@ssgr.us

Summary of Change and Topics for Amendment

- Remove Section 1 relating to data centers.
- Remove Section 3 subsection 1(a)(2) related to the local government representatives being added to the GOED Board.
- Add paragraph d of Section 3 subsection 5 to reinforce that records shared between a lead participant and a county, city, or fire protection district related to this section are confidential.
- Remove Section 3 subsection 1(a)(2) related to the local government representatives being added to the GOED Board.
- Revise Section 6 subsection 3(e)(2) to clarify the date upon which the abatements approved pursuant to this section become effective.
- Add paragraph d of Section 7 subsection 5 to reinforce that records shared between a lead participant and a county, city, or fire protection district related to this section are confidential.
- Add paragraph e of Section 7 subsection 7 to reinforce that records shared between a lead participant and a county, city, or fire protection district related to this section are confidential.

Section 1. ~~NRS 360.755 is hereby amended to read as follows:~~

~~...~~ **(Deleted by Amendment)**

...

Sec. 3. NRS 360.890 is hereby amended to read as follows:

360.890 1. If the Office of Economic Development receives an application pursuant to NRS 360.889, the Office:

(a) Shall, *not later than 15 days after receiving the application, provide notice of the application to the governing body of each county in which the project will be located, the governing body of any city in which the project will be located and the governing body of any fire protection district in which the project will be located. Not later than 15 days before any public meeting at which the Office will take action on the application, the governing body of each county, city and fire protection district that received notice of the application pursuant to this paragraph shall each*

~~(1) Designate~~ **designate** a representative of the governing body, who may be a member of the governing body or an employee of the county, city or fire protection district, as applicable, to engage directly with the Office on matters concerning the application and to provide comment to the Office on the application. Notwithstanding the provisions of subsections 5 and 7 and except as otherwise



provided in this subparagraph, upon the request of a representative designated pursuant to this paragraph, the Office shall disclose to the representative the information contained in the application. Before receiving any information contained in the application, the representative designated pursuant to this paragraph who requested the information must sign a nondisclosure agreement prohibiting the representative from disclosing any information contained in the application to any person other than a person to whom disclosure of the information contained in the application is authorized pursuant to subsection 5 or 7.

~~[(2) Appoint a member of the governing body to be a temporary voting member of the Board of Economic Development created by NRS 231.033 for the sole purpose of considering and taking action on the application. If, within the time required by this paragraph, the governing body of a county, city or fire protection district, as applicable, has not made an appointment of a temporary voting member of the Board of Economic Development, the Office may take action on the application without the appointment of such a temporary voting member and the failure to make such an appointment must not be considered for the purposes of determining the presence of a quorum or the number of votes necessary to act on the application. A temporary voting member appointed to the Board of Economic Development pursuant to this paragraph:~~

~~(I) May not vote on or participate in the consideration of any matter before the Board of Economic Development other than the application submitted pursuant to NRS 360.889 for which the temporary voting member was appointed;~~

~~(II) Serves without compensation from the Board of Economic Development and is not entitled to per diem and travel allowances for engaging in any business of the Board of Economic Development, other than any per diem and travel allowances authorized and paid by the governing body making the appointment;~~

~~(III) Is not a member of the Board of Economic Development for the purposes of determining the existence of a quorum pursuant to NRS 231.033 or chapter 241 of NRS.]~~

(b) Except as otherwise provided in this paragraph, shall not consider the application unless the Office has requested and received a letter of acknowledgment of the request for a partial abatement from any county, school district, fire protection district, city or town which the Office determines may experience a direct economic effect as a result of the partial abatement. If, within 30 days of sending a request for a letter of acknowledgment from an entity from which the Office is required to request such a letter, the Office has not received the letter of acknowledgment, the Office may consider the application without receiving the letter of acknowledgment.

[(b)] (c) Shall not take any action on the application unless the Office takes that action at a public meeting conducted for that purpose.

[(c)] (d) Shall, at least 30 days before any public meeting conducted for the purpose of taking any action on the application, provide notice of the application and the date, time and location of the public meeting at which the Office will consider the application to:

- (1) Each participant in the project;***
- (2) The Department;***
- (3) The Nevada Gaming Control Board;***
- (4) The governing body of the county, the board of trustees of the school district, the governing body of the fire protection district and the governing body of the city or town, if any, in which the project will be located;***
- (5) The governing body of any other political subdivision that the Office determines could experience a direct economic effect as a result of the abatement; and***
- (6) The general public.***



...

5. Until the Office of Economic Development provides notice of the application and the public meeting pursuant to paragraph [(c)] (d) of subsection 1, the information contained in the application provided to the Office of Economic Development:

(a) Is confidential proprietary information of the business;

(b) Is not a public record; and

(c) **[Must]** *Except as otherwise provided in this paragraph, must* not be disclosed to any person who is not an officer or employee of the Office of Economic Development unless the lead participant consents to the disclosure. *The information contained in the application provided to the Office of Economic Development may be disclosed to any of the following persons:*

(1) A representative of the governing body of a county, city or fire protection district who was designated pursuant to paragraph (a) of subsection 1 and has signed a nondisclosure agreement prohibiting the representative from disclosing any information contained in the application to any person, except as authorized by this subsection.

(2) An officer or employee of a county, city or fire protection district that has designated a representative pursuant to paragraph (a) of subsection 1 if the officer or employee has signed a nondisclosure agreement prohibiting the officer or employee from disclosing any information contained in the application, except as authorized by this subsection.

(d) The records, files and communications exchanged between the lead participant in a project and a county, city or fire protection district for the purpose of negotiating and entering into an agreement required pursuant to paragraph (1) or (2) of subsection (C) of subsection 5 of this section are confidential, not a public record and must not be disclosed to any person who is not an officer or employee of the county, city or fire protection district, unless the lead participant consents to the disclosure. Notwithstanding the provisions of this subsection, a meeting of the governing body of a city, county or fire protection district to approve an agreement required pursuant to paragraph (1) or (2) of subsection (c) of subsection 5 must be conducted in accordance with the provisions of chapter 241 of NRS.

(d) The records, files and communications exchanged between the lead participant in a project and a county, city or fire protection district for the purpose of negotiating and entering into an agreement required pursuant to paragraph (1) or (2) of subsection (C) of subsection 5 of this section are confidential, not a public record and must not be disclosed to any person who is not an officer or employee of the county, city or fire protection district, unless the lead participant consents to the disclosure. Notwithstanding the provisions of this subsection, a meeting of the governing body of a city, county or fire protection district to approve an agreement required pursuant to paragraph (1) or (2) of subsection (c) of subsection 5 must be conducted in accordance with the provisions of chapter 241 of NRS.

...

...

Sec. 6. NRS 360.945 is hereby amended to read as follows:

...

3. An application submitted pursuant to subsection 2 must include:

(a) A detailed description of the project, including a description of the common purpose or business endeavor in which the participants in the project are engaged;

(b) A detailed description of the location of the project, including a precise description of the geographic boundaries of the project site;

(c) The name and business address of each participant in the project, which must be an address in this State;

(d) A detailed description of the plan by which the participants in the project intend to comply with the requirement that the participants collectively make a total new capital investment of at least \$3.5 billion in this State in the 10-year period immediately following approval of the application;



(e) If the application includes one or more abatements, an agreement executed by the Office with the lead participant in the project not later than 1 year after the date on which the application was received by the Office which:

(1) Complies with the requirements of NRS 360.755;

(2) *States the date on which the abatement becomes effective, as agreed to by the applicant and the Office, which must not be earlier than the date on which the Office approves the application and not later than 1 year after the date on which the Office approves the application;*

(3) States that the project will, after the date on which a certificate of eligibility for the abatement is approved pursuant to NRS 360.965, continue in operation in this State for a period specified by the Office; and

~~[(3)]~~ (4) Binds successors in interest of the lead participant for the specified period; ~~[and]~~

(f) *A copy of each agreement, if any, required pursuant to paragraphs (n) and (o) of subsection 2; and*

(g) Any other information required by the Office.

...

Sec. 7. NRS 360.950 is hereby amended to read as follows:

360.950 1. If the Office of Economic Development receives an application pursuant to NRS 360.945, the Office:

(a) Shall, *not later than 15 days after receiving the application, provide notice of the application to the governing body of each county in which the project will be located, the governing body of any city in which the project will be located and the governing body of any fire protection district in which the project will be located. Not later than 15 days before any public meeting at which the Office will take action on the application, the governing body of each county, city and fire protection district that received notice of the application pursuant to this paragraph shall each* ~~be~~

~~(1) Designate~~ **designate** *a representative of the governing body, who may be a member of the governing body or an employee of the county, city or fire protection district, as applicable, to engage directly with the Office on matters concerning the application and to provide comment to the Office on the application. Notwithstanding the provisions of subsections 5 and 7 and except as otherwise provided in this subparagraph, upon the request of a representative designated pursuant to this paragraph, the Office shall disclose to the representative the information contained in the application. Before receiving any information contained in the application, the representative designated pursuant to this paragraph who requested the information must sign a nondisclosure agreement prohibiting the representative from disclosing any information contained in the application to any person other than a person to whom disclosure of the information contained in the application is authorized pursuant to subsection 5 or 7.*

~~[(2) Appoint a member of the governing body to be a temporary voting member of the Board of Economic Development created by NRS 231.033 for the sole purpose of considering and taking action on the application. If, within the time required by this paragraph, the governing body of a county, city or fire protection district, as applicable, has not made an appointment of a temporary voting member of the Board of Economic Development, the Office may take action on the application without the appointment of such a temporary voting member and the failure to make such an appointment must not be considered for the purposes of determining the presence of a quorum or the number of votes necessary to act on the~~



~~application. A temporary voting member appointed to the Board of Economic Development pursuant to this paragraph:~~

~~(I) May not vote on or participate in the consideration of any matter before the Board of Economic Development other than the application submitted pursuant to NRS 360.889 for which the temporary voting member was appointed.~~

~~(II) Serves without compensation from the Board of Economic Development and is not entitled to per diem and travel allowances for engaging in any business of the Board of Economic Development, other than any per diem and travel allowances authorized and paid by the governing body making the appointment.~~

~~(III) Is not a member of the Board of Economic Development for the purposes of determining the existence of a quorum pursuant to NRS 231.033 or chapter 241 of NRS.~~

(b) Except as otherwise provided in this paragraph, shall not consider the application unless the Office has requested and received a letter of acknowledgment of the request for an abatement from any county, school district, fire protection district, city or town which the Office determines may experience a direct economic effect as a result of the abatement. If, within 30 days of sending a request for a letter of acknowledgment from an entity from which the Office is required to request such a letter, the Office has not received the letter of acknowledgment, the Office may consider the application without receiving the letter of acknowledgment.

[(b)] (c) Shall not take any action on the application unless the Office takes that action at a public meeting conducted for that purpose.

[(c)] (d) Shall, at least 30 days before any public meeting conducted for the purpose of taking any action on the application, provide notice of the application and the date, time and location of the public meeting at which the Office will consider the application to:

- (1) Each participant in the project;
- (2) The Department;
- (3) The Nevada Gaming Control Board;
- (4) The governing body of the county, the board of trustees of the school district, ***the governing body of the fire protection district*** and the governing body of the city or town, if any, in which the project will be located;
- (5) The governing body of any other political subdivision that the Office determines could experience a direct economic effect as a result of the abatement; and
- (6) The general public.

...

5. Until the Office of Economic Development provides notice of the application and the public meeting pursuant to paragraph ***[(c)] (d)*** of subsection 1, the information contained in the application provided to the Office of Economic Development:

- (a) Is confidential proprietary information of the business;
- (b) Is not a public record; and
- (c) ***[Must] Except as otherwise provided in this paragraph, must*** not be disclosed to any person who is not an officer or employee of the Office of Economic Development unless the lead participant consents to the disclosure. ***The information contained in the application provided to the Office of Economic Development may be disclosed to any of the following persons:***

(1) A representative of the governing body of a county, city or fire protection district who was designated pursuant to paragraph (a) of subsection 1 and has signed a nondisclosure agreement prohibiting the representative from disclosing any information contained in the application to any person, except as authorized by this subsection.



(2) An officer or employee of a county, city or fire protection district that has designated a representative pursuant to paragraph (a) of subsection 1 if the officer or employee has signed a nondisclosure agreement prohibiting the officer or employee from disclosing any information contained in the application, except as authorized by this subsection.

(d) The records, files and communications exchanged between the lead participant in a project and a county, city or fire protection district for the purpose of negotiating and entering into an agreement required pursuant to paragraph (1) or (2) of subsection (C) of subsection 5 of this section are confidential, not a public record and must not be disclosed to any person who is not an officer or employee of the county, city or fire protection district, unless the lead participant consents to the disclosure. Notwithstanding the provisions of this subsection, a meeting of the governing body of a city, county or fire protection district to approve an agreement required pursuant to paragraph (1) or (2) of subsection (c) of subsection 5 must be conducted in accordance with the provisions of chapter 241 of NRS.

...

7. Before the Executive Director of the Office discloses the application to the public, the lead participant may submit a request to the Executive Director of the Office to protect from disclosure any information in the application which, under generally accepted business practices, would be considered a trade secret or other confidential proprietary information of the business. After consulting with the business, the Executive Director of the Office shall determine whether to protect the information from disclosure. The decision of the Executive Director of the Office is final and is not subject to judicial review. If the Executive Director of the Office determines to protect the information from disclosure, the protected information:

- (a) Is confidential proprietary information of the business;
- (b) Is not a public record;
- (c) Must be redacted by the Executive Director of the Office from any copy of the application that is disclosed to the public; and
- (d) **[Must] Except as otherwise provided in this paragraph, must** not be disclosed to any person who is not an officer or employee of the Office of Economic Development unless the lead participant consents to the disclosure. *The information contained in the application provided to the Office of Economic Development may be disclosed to any of the following persons:*

(1) A representative of the governing body of a county, city or fire protection district who was designated pursuant to paragraph (a) of subsection 1 and has signed a nondisclosure agreement prohibiting the representative from disclosing any information contained in the application to any person, except as authorized by this subsection.

(2) An officer or employee of a county, city or fire protection district that has designated a representative pursuant to paragraph (a) of subsection 1 if the officer or employee has signed a nondisclosure agreement prohibiting the officer or employee from disclosing any information contained in the application, except as authorized by this subsection.

(e) The records, files and communications exchanged between the lead participant in a project and a county, city or fire protection district for the purpose of negotiating and entering into an agreement required pursuant to paragraph (1) or (2) of subsection (d) of subsection 7 of this section are confidential, not a public record and must not be disclosed to any person who is not an officer or employee of the county, city or fire protection district, unless the lead participant consents to the disclosure. Notwithstanding the provisions of this subsection, a meeting of the governing body of a city, county or fire protection district to approve an agreement required pursuant to paragraph (1)



or (2) of subsection (d) of subsection 7 must be conducted in accordance with the provisions of chapter 241 of NRS.

...



Board of Storey County Commissioners Agenda Action Report

**Meeting date: 3/18/2025 10:00 AM -
BOCC Meeting**

Estimate of Time Required: 0-5

Agenda Item Type: Discussion/Possible Action

- **Title:** For Consideration and possible approval of business license second readings:
- A. ABSCO Fire Protection LLC – Contractor / 9025 Spanish Trail ~ Sparks, NV
- B. All Crane Service LLC – Out of County / 1000 Marietta Way ~ Sparks, NV
- C. Crusoe Energy Systems, LLC – Out of County / 255 Fillmore St. Ste. 400 ~ Denver, CO
- D. DeHart Recycling Equipment Inc. – Out of County / 11862 Missouri Bottom Rd. ~ Hazelwood, MO
- E. Guzman & Sons Drywall LLC – Contractor / 5385 Jon. Dr. ~ Sun Valley, NV
- F. Harrison Nevcon LLC – Contractor / 503 Sam Clemens ~ Dayton, NV
- G. Kinetic Cutting Systems Inc. – Out of County / 10960 Zaiser Rd. ~ West Burlington, IA
- H. ORR Protections Systems, Inc. – Contractor / 6761 Sierra Ct. Ste A ~Dublin, CA
- I. Paul Davis Restoration of Reno & Lake Tahoe – Contractor / 650 Innovation Dr. Ste. A ~ Reno, NV
- J. Sierra Design Concrete – Contractor / 130 Circuit Ct. ~ Sparks, NV
- K. The Shrinkwrap Co., LLC – Out of County / 2400 Sharon Way ~ Reno, NV
- L. WEIMA America Inc. – Out of County / 3678 Centre Cir. ~ Fort Mill, SC
- M. X Burger – Food Truck / 984 Leah Cir ~ Reno, NV

- **Recommended motion:** Approval

- **Prepared by:** Ashley mead

Department: Community Development

Contact Number: 775-847-0966

- **Staff Summary:** Second readings of submitted business license applications are normally approved unless, for various reasons, requested to be continued to the next meeting. A follow-up letter noting those to be continued or approved will be submitted prior to the Commission Meeting. The business licenses are then printed and mailed to the new business license holder.
- **Supporting Materials:** See Attachments
- **Fiscal Impact:**

- **Legal review required:** False

- **Reviewed by:**

____ Department Head

Department Name:

____ County Manager

Other Agency Review: _____

- **Board Action:**

<input type="checkbox"/> Approved	<input type="checkbox"/> Approved with Modification
<input type="checkbox"/> Denied	<input type="checkbox"/> Continued

Storey County Community Development



110 Toll Road ~ Gold Hill Divide
P O Box 526 ~ Virginia City NV 89440

(775) 847-0966 ~ Fax (775) 847-0935
CommunityDevelopment@storeycounty.org

To: Jim Hindle, Clerk's office
Austin Osborne, County Manager

March 10, 2025
Via Email

Fr: Ashley Mead

Please add the following item(s) to the **March 18, 2025**

COMMISSIONERS Consent Agenda:

SECOND READINGS:

- A. ABSCO Fire Protection LLC** – Contractor / 9025 Spanish Trail ~ Sparks, NV
- B. All Crane Service LLC** – Out of County / 1000 Marietta Way ~ Sparks, NV
- C. Crusoe Energy Systems, LLC** – Out of County / 255 Fillmore St. Ste. 400 ~ Denver, CO
- D. DeHart Recycling Equipment Inc.** – Out of County / 11862 Missouri Bottom Rd. ~ Hazelwood, MO
- E. Guzman & Sons Drywall LLC** – Contractor / 5385 Jon. Dr. ~ Sun Valley, NV
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- H. ORR Protections Systems, Inc.** – Contractor / 6761 Sierra Ct. Ste A ~Dublin, CA
- I. Paul Davis Restoration of Reno & Lake Tahoe** – Contractor / 650 Innovation Dr. Ste. A ~ Reno, NV
- J. Sierra Design Concrete** – Contractor / 130 Circuit Ct. ~ Sparks, NV
- K. The Shrinkwrap Co., LLC** – Out of County / 2400 Sharon Way ~ Reno, NV
- L. WEIMA America Inc.** – Out of County / 3678 Centre Cir. ~ Fort Mill, SC
- M. X Burger** – Food Truck / 984 Leah Cir ~ Reno, NV

Ec: Community Development
Commissioner's Office

Planning Department
Comptroller's Office

Sheriff's Office